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PROJECT: 2021102904

CLIENT:
NICK PERRY
2615 SOMERSVILLE ROAD
ANTIOCH, CA 94509

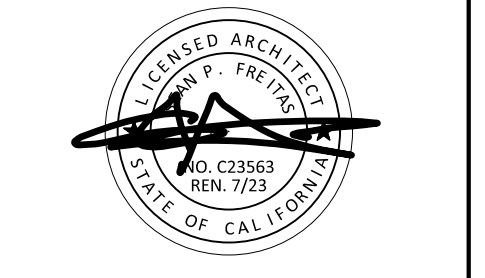
DESIGN REVIEW FOR:

NEW DISPENSARY AT

2615 SOMERSVILLE ROAD
ANTIOCH, CA 94509

TITLE:
PROJECT - SITE PLAN

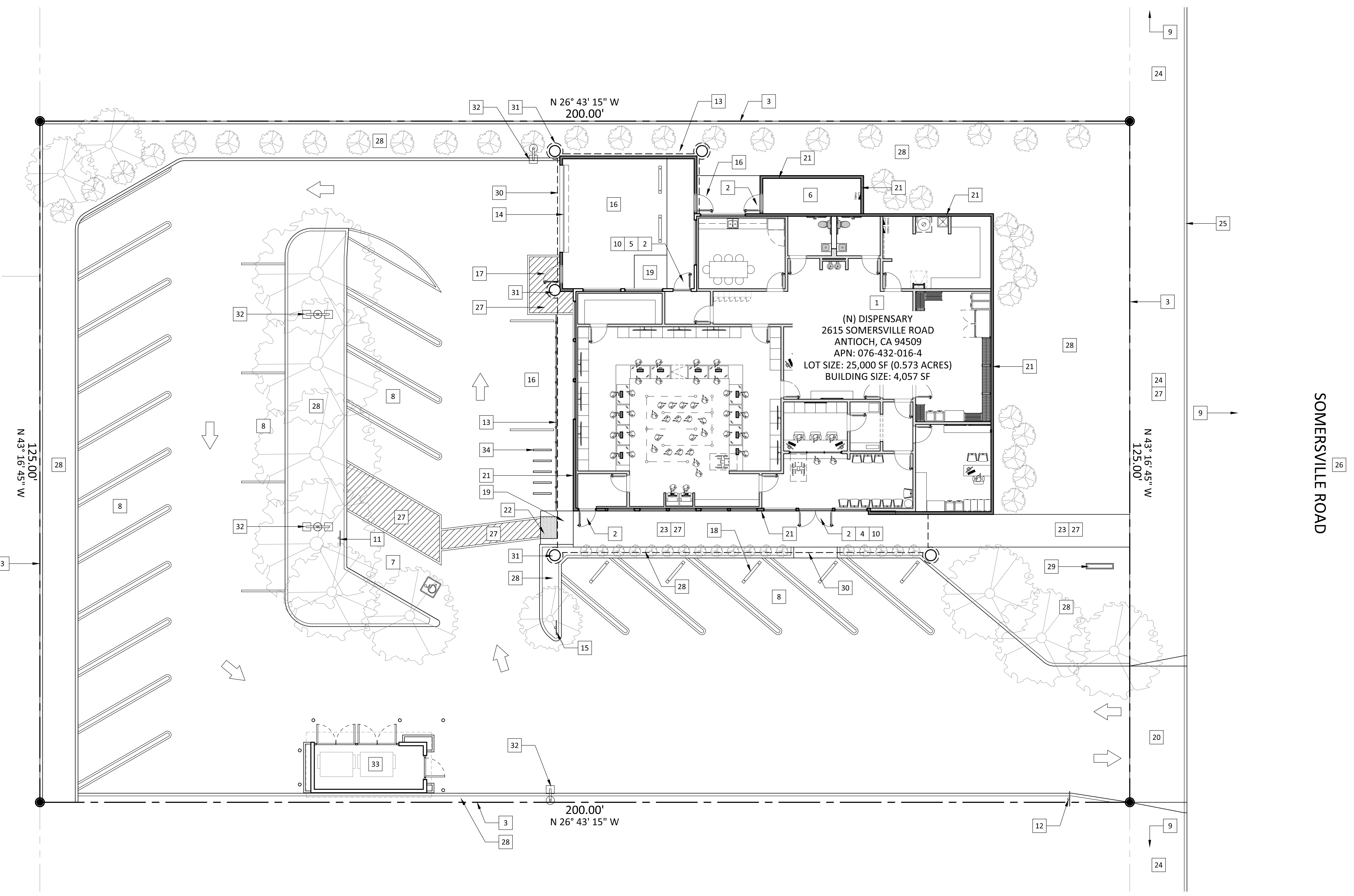
DATE: 5/05/2022



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SHEET:
A2.11

SHEET: OF SHEETS

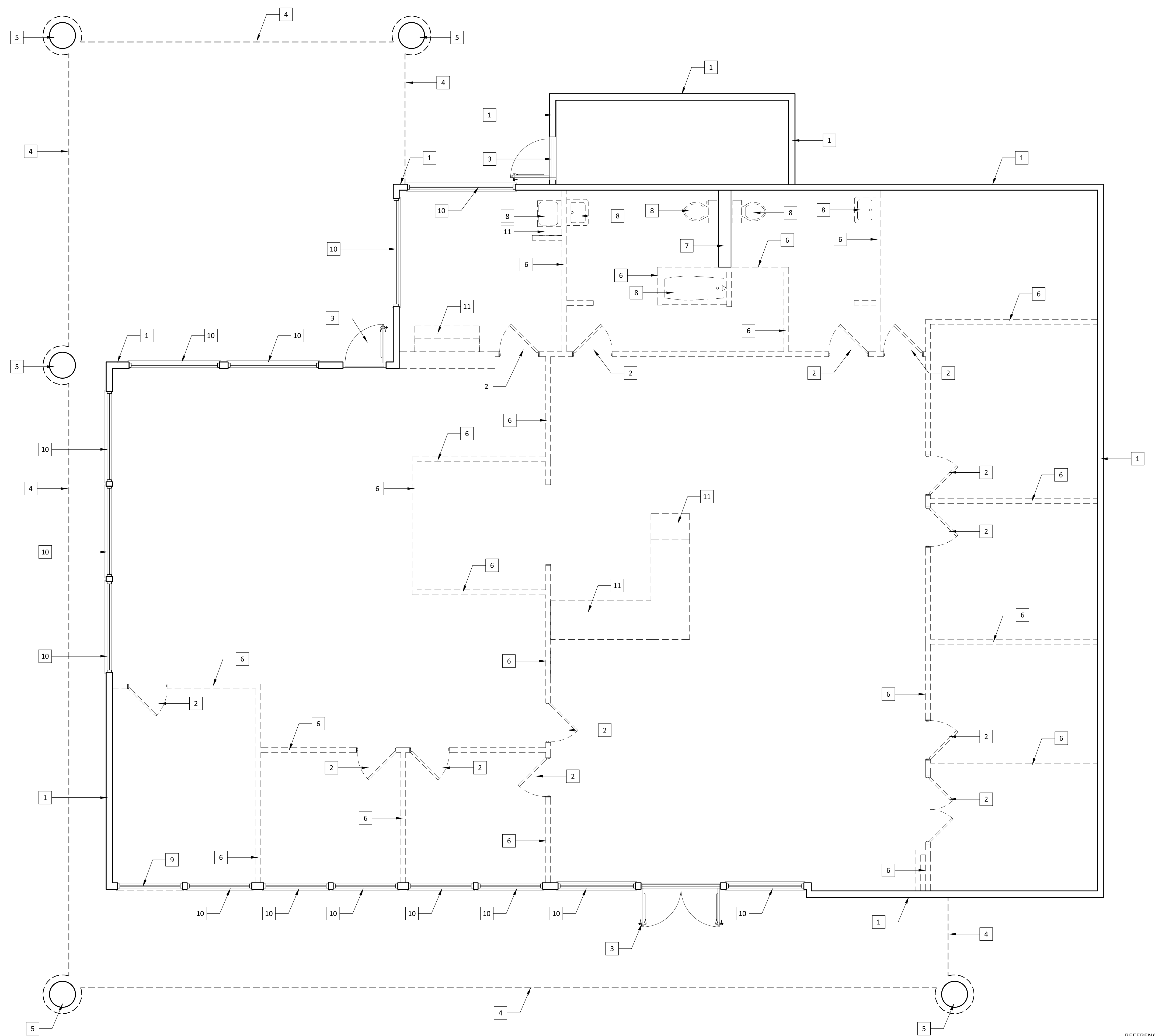


PROJECT - SITE PLAN SCALE: 0 10' 1

SITE PARKING COUNT		
	REQUIRED PARKING	PARKING PROVIDED
STANDARD PARKING ON-SITE:	19 SPACES	19 SPACES
ACCESSIBLE PARKING ON-SITE:	1 SPACES	1 SPACES
VENDOR & DELIVERY PARKING ON-SITE:	0 SPACES	3 SPACES
TOTAL PARKING ON-SITE (5 PER 1,000 SF @ 4,057 SF):	21 SPACES	23 SPACES
BICYCLE PARKING ON-SITE (1 PER 25 PARKING STALLS):	1 SPACES	5 SPACES

KEYNOTES	
1	NEW CANNABIS DISPENSARY.
2	EXTERIOR DOOR. ALL EXTERIOR DOORS SHALL BE EQUIPPED WITH 180 DEGREE VIEWING DEVICE TO SCREEN PERSONS BEFORE ALLOWING ENTRY.
3	EXISTING PROPERTY LINE.
4	EXISTING MAIN BUILDING ENTRY.
5	EXISTING VENDOR AND DELIVERY ACCESS DOOR.
6	EXISTING ELECTRICAL ROOM (GAS AND WATER FEED THROUGH THIS ROOM).
7	EXISTING ACCESSIBLE PARKING STALL (RE-STRIPE AS NEEDED).
8	EXISTING PARKING STALLS (RE-STRIPE AS NEEDED).
9	NEAREST FIRE HYDRANTS: DIRECTLY ACROSS SOMERSVILLE ROAD, ONE ON OPPOSITE SIDE OF BOTH ADJACENT NEIGHBORING BUILDINGS.
10	NEW KNOX BOX TO BE INSTALLED AT FRONT AND REAR (VENDOR DOOR).
11	NEW ACCESSIBLE PARKING SIGN.
12	EXISTING ACCESSIBLE SITE SIGN.
13	NEW METAL SECURITY FENCING.
14	NEW VEHICLE BAY VEHICLE DOOR.
15	EXISTING NO UNAUTHORIZED PARKING SIGN.
16	DELIVERY AND VENDOR PARKING STALLS.
17	NEW VEHICLE BAY MAN DOOR (W/ PANIC HARDWARE).
18	EXISTING PARKING STALL WHEEL STOPS.
19	NEW 1:12 SLOPE CONCRETE RAMP.

20	EXISTING DRIVEWAY (INGRESS/EGRESS).
21	EXISTING EXTERIOR WALL.
22	NEW DETECTABLE WARNING.
23	EXISTING CONCRETE WALK.
24	EXISTING CONCRETE SIDEWALK.
25	EXISTING CURB AND GUTTER.
26	EXISTING ADJACENT ROADWAYS.
27	EXISTING ACCESSIBLE PATH OF TRAVEL.
28	EXISTING LANDSCAPE AREA.
29	EXISTING MONUMENT SIGN - TO BE REVISED FOR BUSINESS.
30	EXISTING ROOF OVERHANG.
31	EXISTING COLUMN.
32	EXISTING SITE LIGHTING - TO BE REPLACED.
33	NEW TRASH ENCLOSURE W/ MAN GATE, BOLLARDS & LANDSCAPE PLANTERS (FOR SCREENING).
34	NEW BIKE RACKS.



WALL LEGEND

	EXISTING WALL. WALLS SHALL BE REFINISHED, TAPED, AND PAINTED TO MATCH EXISTING.
	REMOVE FRAMING AND FINISH BACK TO CLEAN SUBSTRATE. COMPLETELY REMOVE ELECTRICAL AND DATA LINES BACK TO ANY MAIN SERVICE/CONNECTIONS. REMOVE AND SPOT FILL OR GRIND ANCHORS FLUSH WITH CONCRETE.

KEYNOTES

1	EXTERIOR WALL - TO REMAIN.
2	REMOVE INTERIOR DOOR.
3	EXTERIOR DOOR - TO REMAIN.
4	EXISTING ROOF OVERHANG - TO REMAIN.
5	EXISTING COLUMNS - TO REMAIN.
6	REMOVE INTERIOR WALL. GRIND HOLD DOWNS/ANCHORS FLUSH WITH CONCRETE SURFACE. REMOVE WIRING RUN BACK TO ORIGIN AS NEEDED.
7	INTERIOR WALL - TO REMAIN.
8	REMOVE RESTROOM FIXTURES. CAP AND ABANDON OR REPLUMB FEEDS AND DRAINS AS NEEDED PER PLUMBING DRAWINGS.
9	REMOVE EXTERIOR WINDOW - TO BE REPLACED W/ SMALLER WINDOW AND EXIT DOOR.
10	EXISTING WINDOW - TO REMAIN.
11	REMOVE EXISTING CABINETRY & COUNTERTOPS.

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LINCOLN, CA 95648
(916) 209-9890
Design@GRAPHIA.com
GRAPHIA.com

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ANTIOCH, CA 94509

DESIGN REVIEW FOR:
NEW DISPENSARY AT
2615 SOMERSVILLE ROAD
ANTIOCH, CA 94509

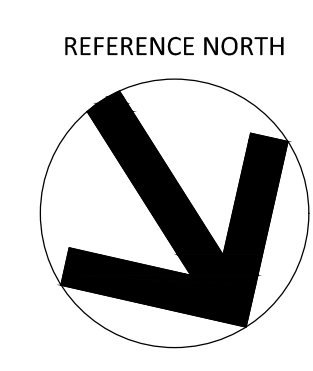
TITLES:
PROJECT DEMOLITION FLOOR PLAN

DATE: 5/05/2022

ARCHITECT'S APPROVAL:

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SHEET:
A3.01
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ANTIOCH, CA 94509

DESIGN REVIEW FOR:

NEW DISPENSARY AT
2615 SOMERSVILLE ROAD
ANTIOCH, CA 94509

TITLE:
PROJECT FLOOR PLAN

DATE: 5/05/2022

ARCHITECT'S APPROVAL:



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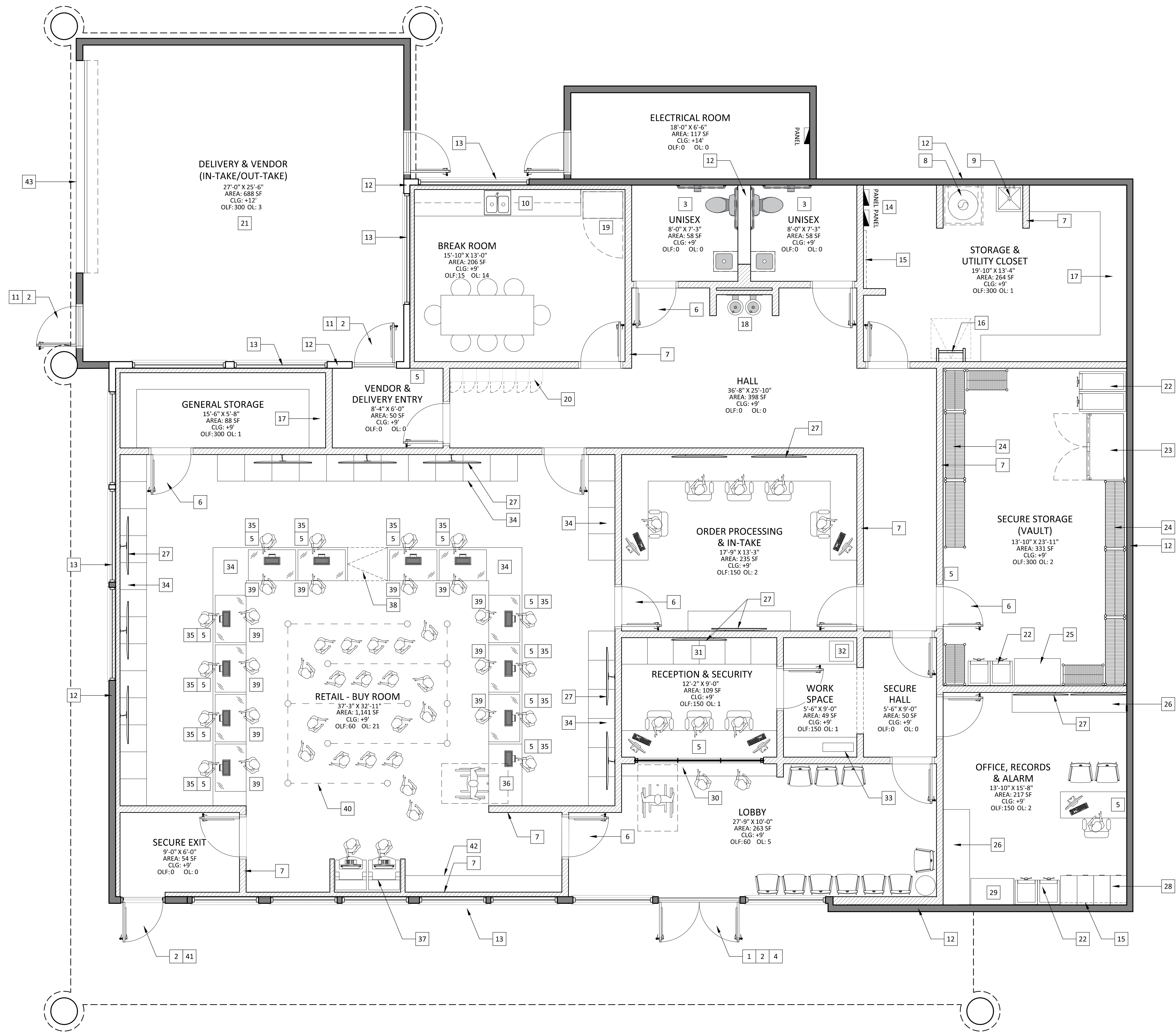
SHEET:

A3.11

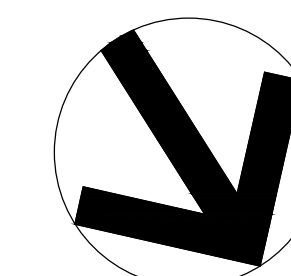
SHEET: OF SHEETS

KEYNOTES

- 1 EXISTING MAIN BUILDING ENTRANCE & EMPLOYEE ACCESS POINT. ALL SOLID CORE EXTERIOR DOORS SHALL BE EQUIPPED WITH 180 DEGREE VIEWING DEVICE TO SCREEN PERSONS BEFORE ALLOWING ENTRY.
- 2 EXTERIOR DOOR. ALL SOLID CORE EXTERIOR DOORS SHALL BE EQUIPPED WITH 180 DEGREE VIEWING DEVICE TO SCREEN PERSONS BEFORE ALLOWING ENTRY.
- 3 NEW ACCESSIBLE RESTROOM - WATER CLOSET, LAVATORY, ACCESSORIES, AND HARDWARE TO COMPLY WITH CURRENT ACCESSIBILITY REQUIREMENTS.
- 4 NEW ACCESSIBLE BUILDING ENTRANCE SIGNAGE.
- 5 NEW HOLD-UP ALARM SYSTEM SHALL BE EMPLOYED NEAR THE LOBBY, EMPLOYEE ENTRANCE AND SAFE(S). HOLDUP ALARMS SHALL CAUSE THE DISPATCH OF THE POLICE DEPARTMENT.
- 6 NEW INTERIOR DOOR - TYP.
- 7 NEW INTERIOR WALLS - TYP. WALL TO BE REINFORCED IN SECURITY SENSITIVE AREAS (VAULT AND SECURITY WALLS - INTERIOR SIDE OF WINDOWS).
- 8 EXISTING WATER HEATER - REPLACE IF REQUIRED.
- 9 NEW MOP SINK.
- 10 COUNTERTOP AND CABINERY WITH SINK. PROVIDE SINK 24" OFF WALL TO CENTERLINE OF SINK MIN. RIM OR COUNTER SURFACE NOT TO EXCEED 34" A.F.F. AND PARALLEL APPROACH OF 48"x36" CLEAR OK IF RANGE OR STOVE TOP ARE NOT PROVIDED. UPPER CABINERY SHOWN DASHED WHERE OCCURS - PROVIDED BY TENANT.
- 11 EXISTING VENDOR & DELIVERY ACCESS POINT. ALL SOLID CORE EXTERIOR DOORS SHALL BE EQUIPPED WITH 180 DEGREE VIEWING DEVICE TO SCREEN PERSONS BEFORE ALLOWING ENTRY.
- 12 EXISTING WALL - TO REMAIN.
- 13 EXISTING WINDOWS - TO REMAIN. WINDOWS SHALL BE INSTALLED WITH 3M SECURITY FILM. WINDOWS IN SECURITY AREAS TO HAVE A SECURITY WALL BEHIND (PAINTED BLACK).
- 14 EXISTING ELECTRICAL PANELS.
- 15 NEW TELCO BOARD.
- 16 EXISTING ATTIC AND ROOF ACCESS LADDER W/ HATCH.
- 17 NEW STORAGE SHELVING.
- 18 NEW ACCESSIBLE HI-LOW DRINKING FOUNTAIN.
- 19 NEW EMPLOYEE REFRIGERATOR.
- 20 NEW EMPLOYEE LOCKERS.
- 21 NEW VEHICLE BAY FOR VENDOR & DELIVERY ACCESS - EQUIPPED W/ A MAN AND VEHICLE DOORS - CONTROLLED ACCESS.
- 22 NEW FLOOR MOUNTED SAFE - ACTUAL NEEDS TO BE DETERMINED BY OPERATOR.
- 23 NEW REACH-IN COOLER STORAGE.
- 24 NEW WIRE SHELVING UNITS.
- 25 NEW CANNABIS WASTE - SECURE BINS FOR AUTHORIZED PICK-UP.
- 26 NEW STORAGE FURNITURE - ACTUAL NEEDS TO BE DETERMINED BY OPERATOR.
- 27 NEW TV MONITORS (SECURITY, MENU, GRAPHICS).
- 28 NEW FILING CABINETS - ACTUAL NEEDS TO BE DETERMINED BY OPERATOR.
- 29 NEW NVR SERVER RACK.
- 30 NEW ACCESSIBLE HEIGHT (34") CHECK-IN COUNTER.
- 31 NEW FILE AND MISC. STORAGE.
- 32 NEW PRINT STATION.
- 33 NEW WALKIE TALKIE CHARGING STATION.
- 34 NEW PRODUCT STORAGE & DISPLAYS.
- 35 NEW POINT OF SALE MACHINES.
- 36 NEW ACCESSIBLE HEIGHT (34") SALES COUNTER.
- 37 NEW ATMS.
- 38 NEW SERVICE COUNTER W/ FLIP LID FOR FLOOR ACCESS.
- 39 NEW GLASS PRODUCT DISPLAY CASES - SOME TO BE COLD UNITS.
- 40 NEW STANCHIONS - CUSTOMER LINE QUEUE.
- 41 NEW SECURE CUSTOMER EXIT.
- 42 NEW MERCHANDISE DISPLAY.
- 43 NEW VEHICLE BAY OVERHEAD DOOR.

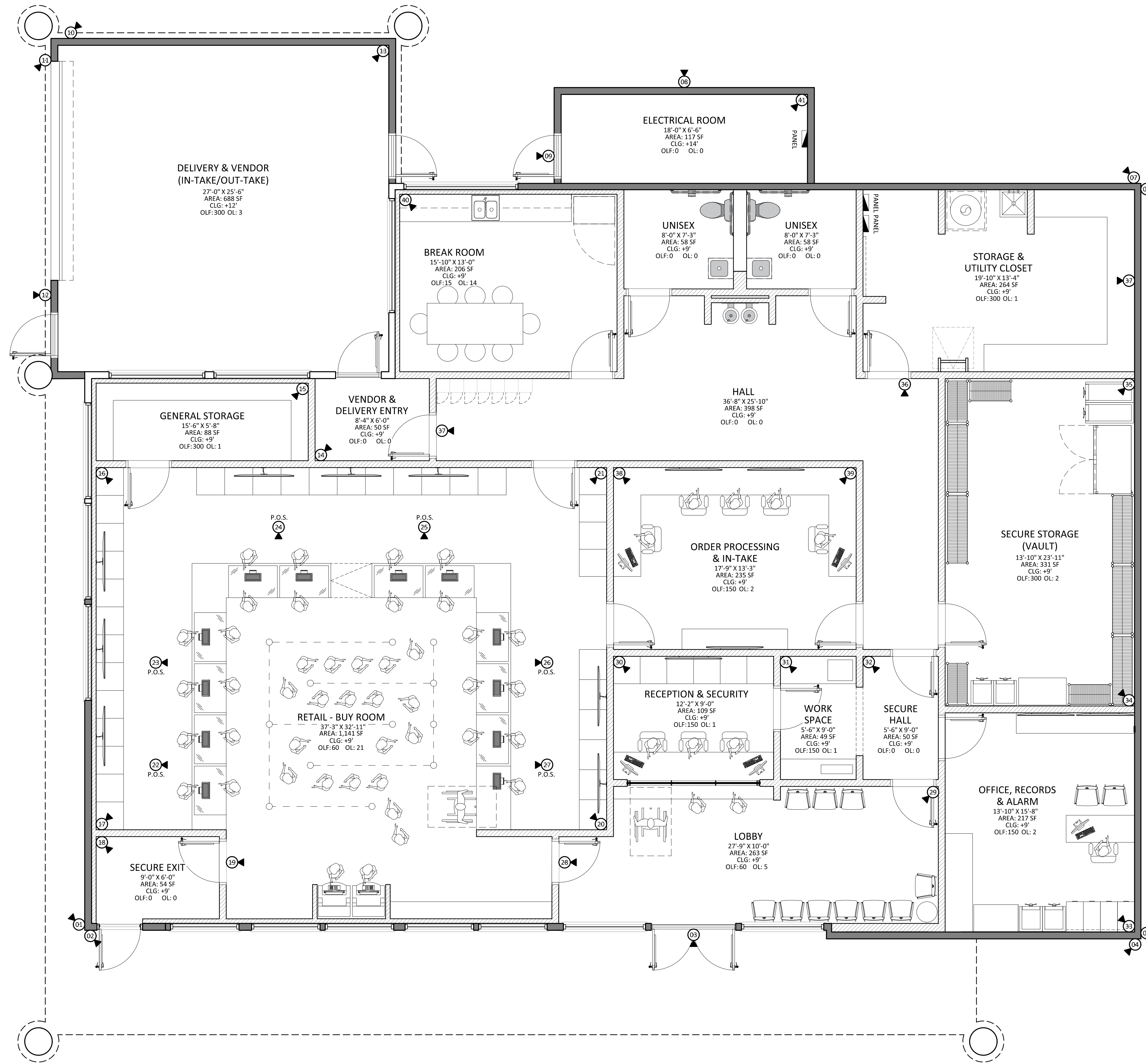


REFERENCE NORTH



PROJECT FLOOR PLAN

SCALE: 0 4' 1



LEGEND	
	FIXED IP CAMERA (WITH UNIQUE CAMERA NUMBER)
	P.O.S. CAMERA (WITH UNIQUE CAMERA NUMBER)
1	CAMERAS WILL CONTINUOUSLY RECORD 24 HOURS/DAY, 7 DAYS PER WEEK AT A MIN. RESOLUTION OF 1280X1024 (1.3MP), 15 FRAMES/SECOND, & BE INSTALLED ON THE EXTERIOR/ INTERIOR OF BUILDING, MOUNTED IN FIXED/PERMANENT MANNER TO PREVENT TAMPERING. CAMERAS WILL BE INSTALLED ANYWHERE THAT CANNABIS PRODUCTS OR CURRENCY ARE PRESENT AT ANY GIVEN TIME, ENTRY/EXIT, AREAS OPEN TO THE PUBLIC, STREET & PERIMETER OF PROPERTY, PARKING LOTS, & ANY POINT OF SALE. CAMERAS WILL BE CAPABLE OF RECORDING IN ANY LIGHT CONDITION, BE OF SUFFICIENT QUALITY TO CAPTURE FACIAL FEATURE ID FOR THE EFFECTIVE PROSECUTION OF ANY CRIME THAT HAPPENS ON SITE, & RECORDINGS WILL BE STORED FOR A MIN. OF 90 DAYS. CAMERA SERVER WILL BE KEPT IN A SECURE LIMITED ACCESS AREA TO PREVENT TAMPERING/THEFT, PROVIDE NOTIFICATION UPON RECORDING FAILURE & HAVE 4 HOURS OF UPS BATTERY BACKUP.

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100 GATEWAY DRIVE, SUITE 120
LINCOLN, CA 95648
(916) 209-9890
Design@GRAPHIA.com
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ANTIOCH, CA 94509

DESIGN REVIEW FOR:

NEW DISPENSARY AT
2615 SOMERSVILLE ROAD
ANTIOCH, CA 94509

TITLES:
PROJECT FLOOR PLAN
(CAMERA PLACEMENT)

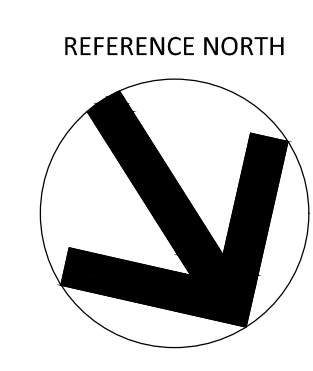
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ARCHITECT'S APPROVAL:

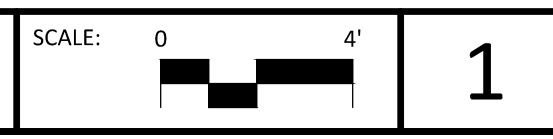
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SHEET:
A3.12

SHEET: OF SHEETS



PROJECT FLOOR PLAN (CAMERA PLACEMENT)



KEYNOTES

1	EXISTING STUCCO FINISH - TO REMAIN.
2	PROPOSED STUCCO FINISH - TO MATCH EXISTING.
3	EXISTING PAINTED BAND - TO REMAIN.
4	EXISTING STUCCO WRAPPED COLUMN - TO REMAIN.
5	EXISTING STUCCO TRIM - TO REMAIN.
6	EXISTING PANEL INFILL - TO REMAIN.
7	EXISTING WINDOW SYSTEM - TO REMAIN.
8	EXISTING WINDOW - TO BE REMOVED.
9	EXISTING DOOR - TO REMAIN.
10	NEW SOLID CORE DOOR.
11	EXISTING EXTERIOR LIGHTING - TO REMAIN (AND EXPANDED).
12	EXISTING DECORATIVE STUCCO FEATURE - TO REMAIN.

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ANTIOCH, CA 94509

DESIGN REVIEW FOR:
NEW DISPENSARY AT
2615 SOMERSVILLE ROAD
ANTIOCH, CA 94509

TITLES:
PROJECT EXTERIOR ELEVATIONS

DATE: 5/05/2022

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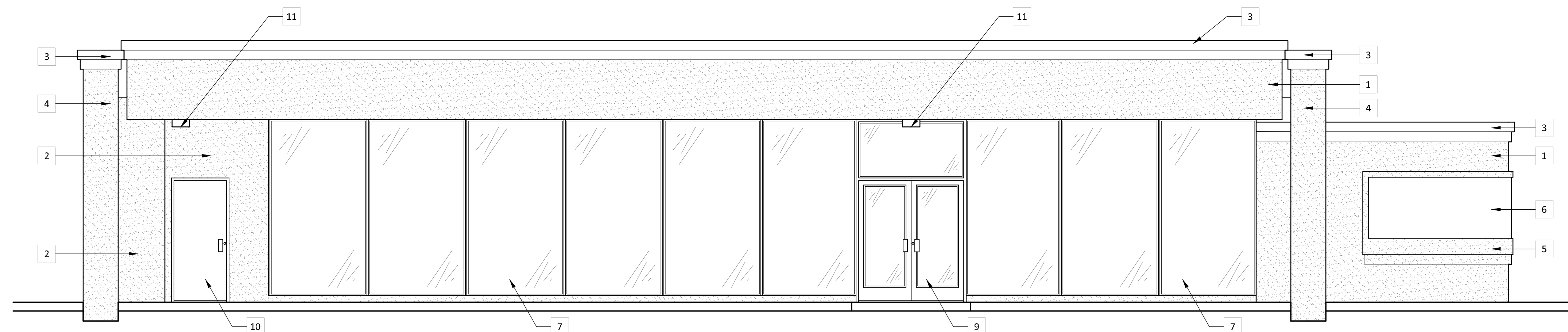


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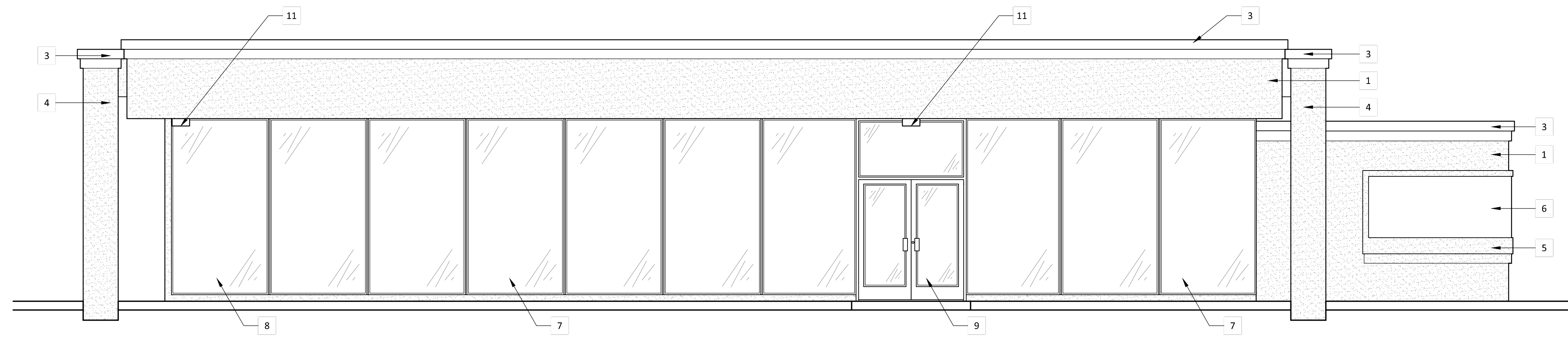
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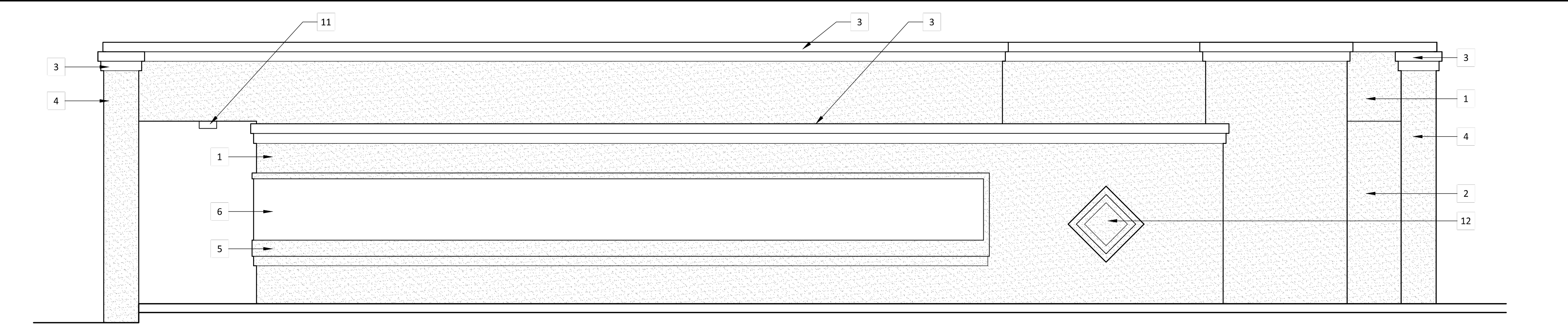
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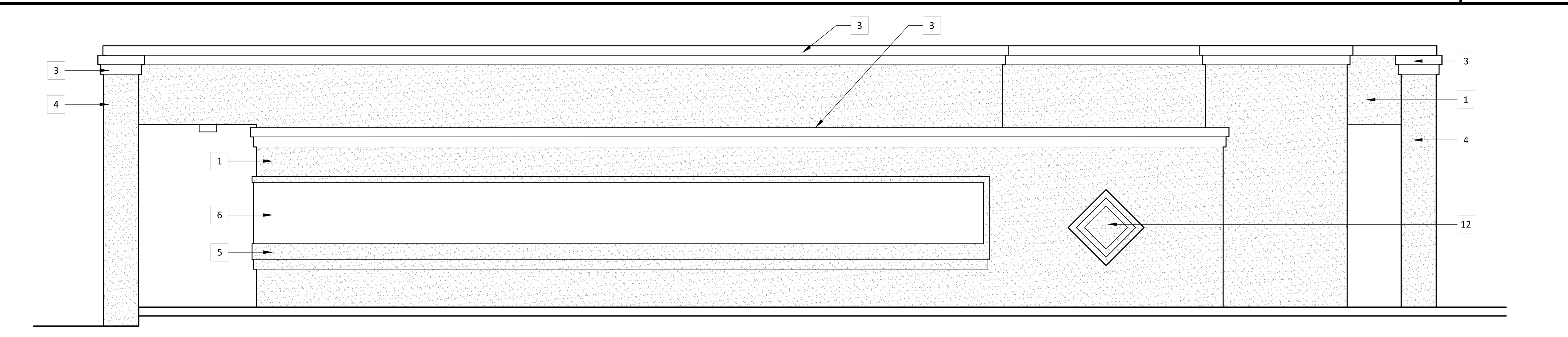
PROPOSED BUILDING ELEVATION - NORTH (FRONT) SCALE: 0 4' **4**



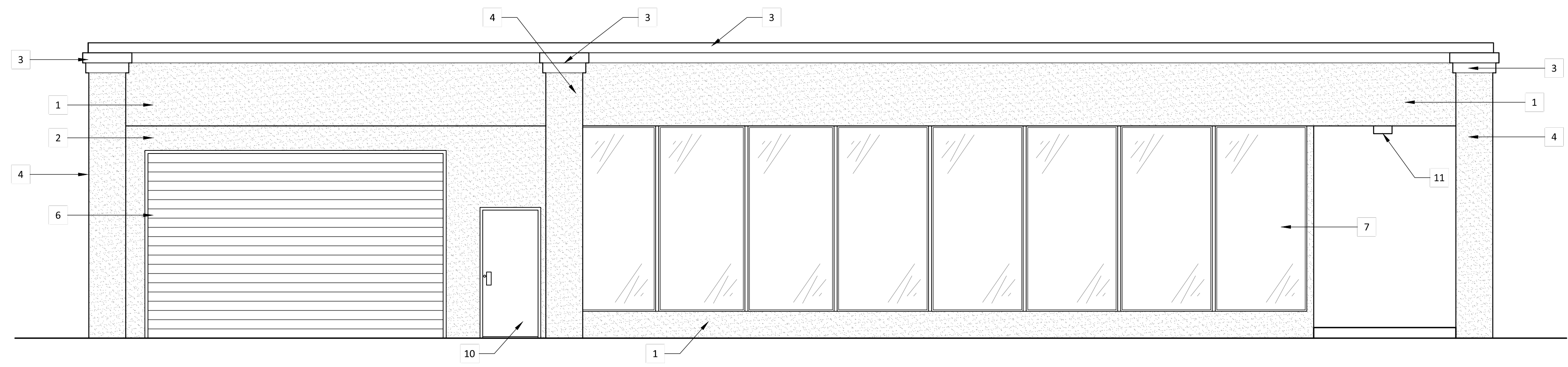
EXISTING BUILDING ELEVATION - NORTH (FRONT) SCALE: 0 4' **3**



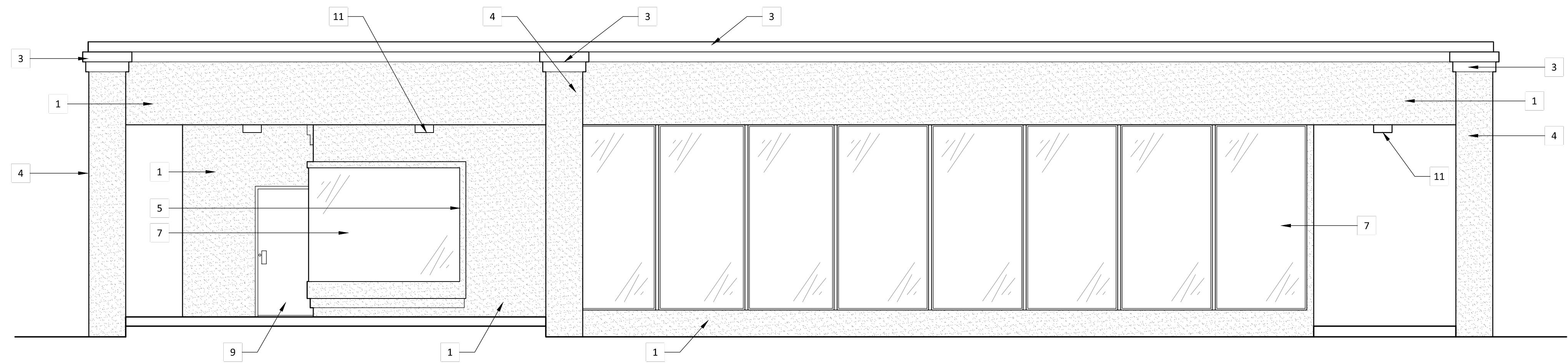
PROPOSED BUILDING ELEVATION - WEST (RIGHT) SCALE: 0 4' **2**



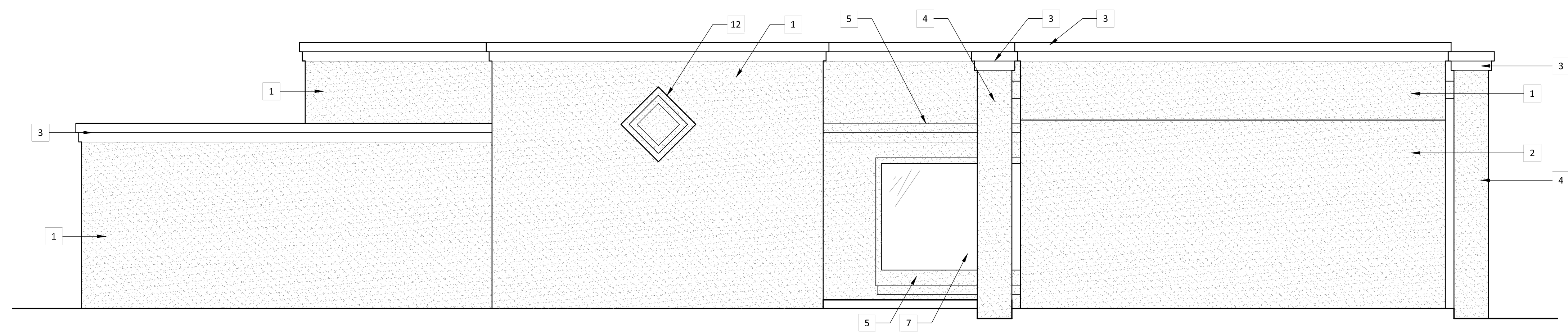
EXISTING BUILDING ELEVATION - WEST (RIGHT) SCALE: 0 4' **1**



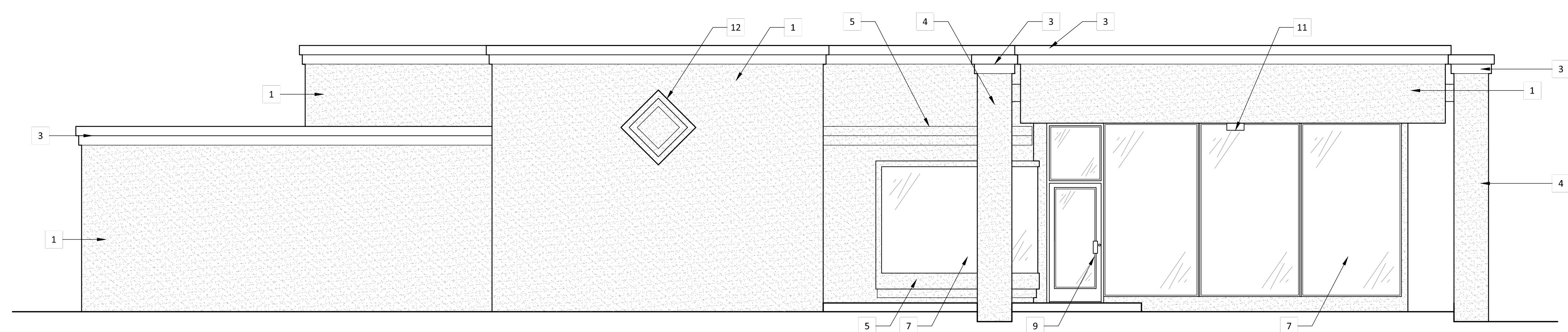
PROPOSED BUILDING ELEVATION - EAST (LEFT) SCALE: 0 4' **4**



EXISTING BUILDING ELEVATION - EAST (LEFT) SCALE: 0 4' **3**



PROPOSED BUILDING ELEVATION - SOUTH (REAR) SCALE: 0 4' **2**



EXISTING BUILDING ELEVATION - SOUTH (REAR) SCALE: 0 4' **1**

KEYNOTES

1	EXISTING STUCCO FINISH - TO REMAIN.
2	PROPOSED STUCCO FINISH - TO MATCH EXISTING.
3	EXISTING PAINTED BAND - TO REMAIN.
4	EXISTING STUCCO WRAPPED COLUMN - TO REMAIN.
5	EXISTING STUCCO TRIM - TO REMAIN.
6	PROPOSED VEHICLE OVERHEAD DOOR.
7	EXISTING WINDOW SYSTEM - TO REMAIN.
8	(RESERVED)
9	EXISTING DOOR - TO REMAIN.
10	NEW SOLID CORE DOOR.
11	EXISTING EXTERIOR LIGHTING - TO REMAIN (AND EXPANDED).
12	EXISTING DECORATIVE STUCCO FEATURE - TO REMAIN.

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LINCOLN, CA 95648
(916) 209-9890
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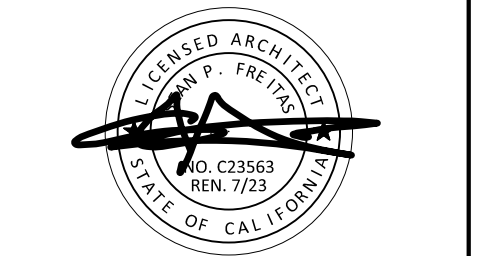
CLIENT:
NICK PERRY
2615 SOMERSVILLE ROAD
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DESIGN REVIEW FOR:
NEW DISPENSARY AT
2615 SOMERSVILLE ROAD
ANTIOCH, CA 94509

TITLES:
PROJECT EXTERIOR ELEVATIONS

DATE: 5/05/2022

ARCHITECT'S APPROVAL:



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SHEET:

A7.12

SHEET OF SHEETS

KEYNOTES

- 1 PROPOSED SITE BOLLARDS.
- 2 PROPOSED PLANTER FOR ENCLOSURE LANDSCAPE SCREENING.
- 3 PROPOSED METAL MAN DOOR.
- 4 PROPOSED METAL ENCLOSURE GATES.
- 5 PROPOSED CONCRETE BLOCK ENCLOSURE WALL W/ STUCCO FINISH (TO MATCH EXISTING BUILDING).
- 6 PROPOSED METAL ROOFING W/ STEEL FRAME.
- 7 PROPOSED STEEL POST AND BEAMS.

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DESIGN REVIEW FOR:

NEW DISPENSARY AT
2615 SOMERSVILLE ROAD
ANTIOCH, CA 94509

TITLES:
PROJECT TRASH ENCLOSURE

DATE: 5/05/2022

ARCHITECT'S APPROVAL:

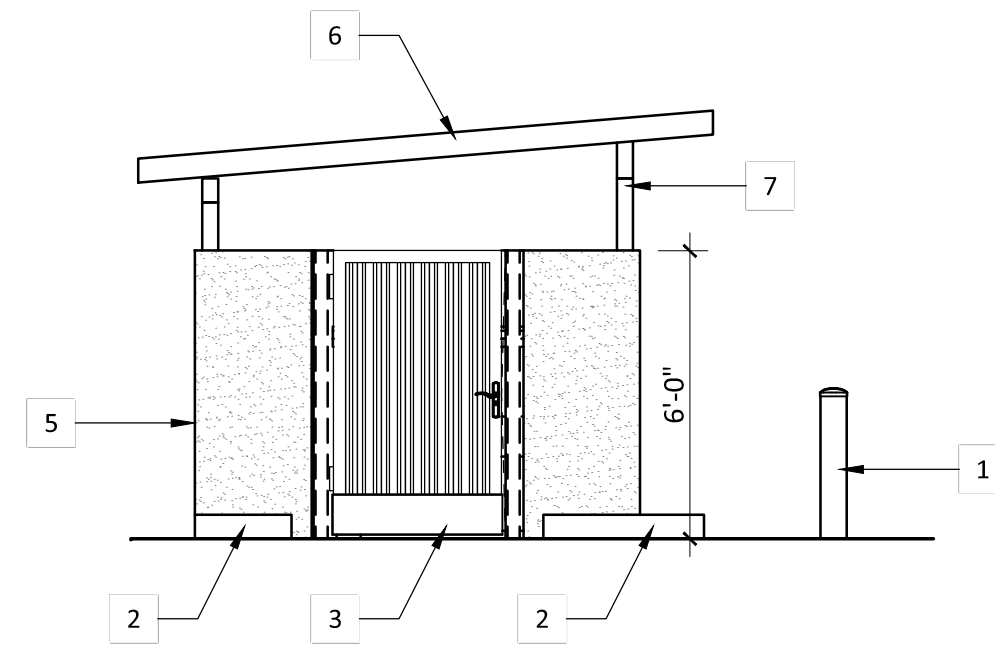


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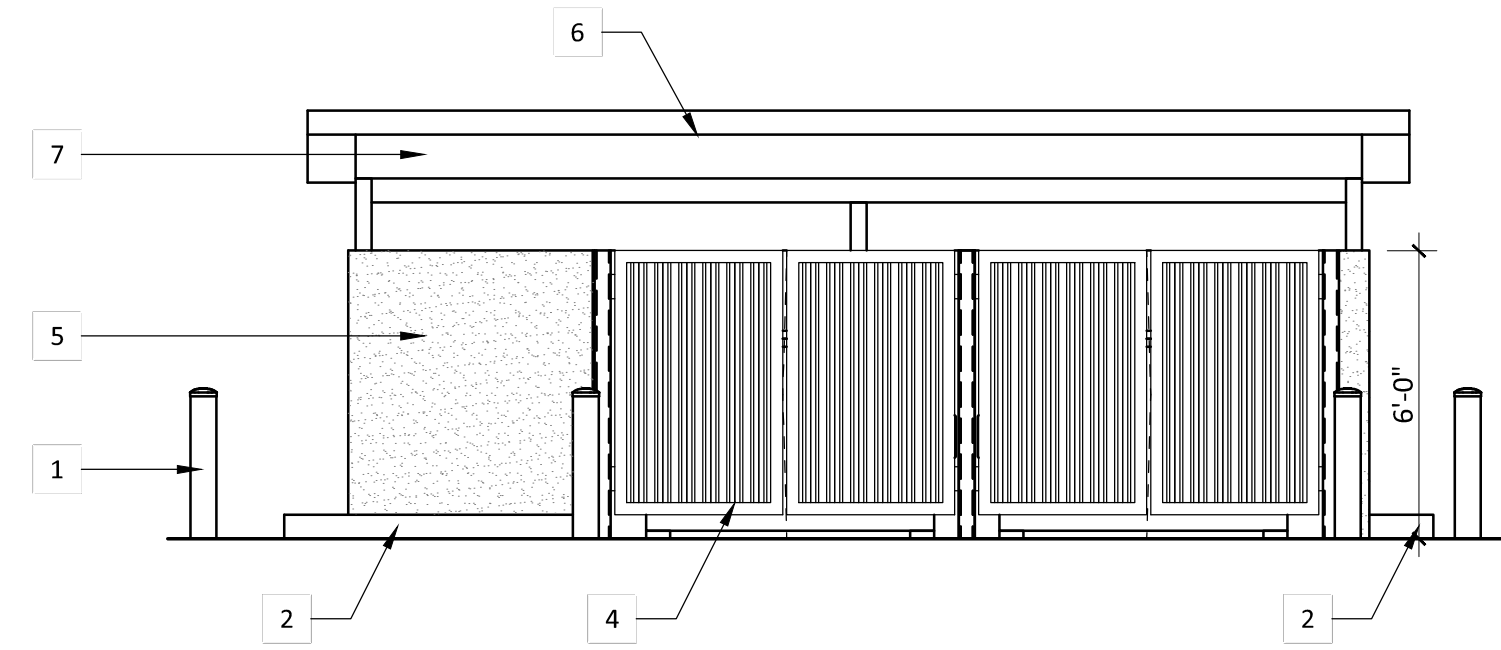
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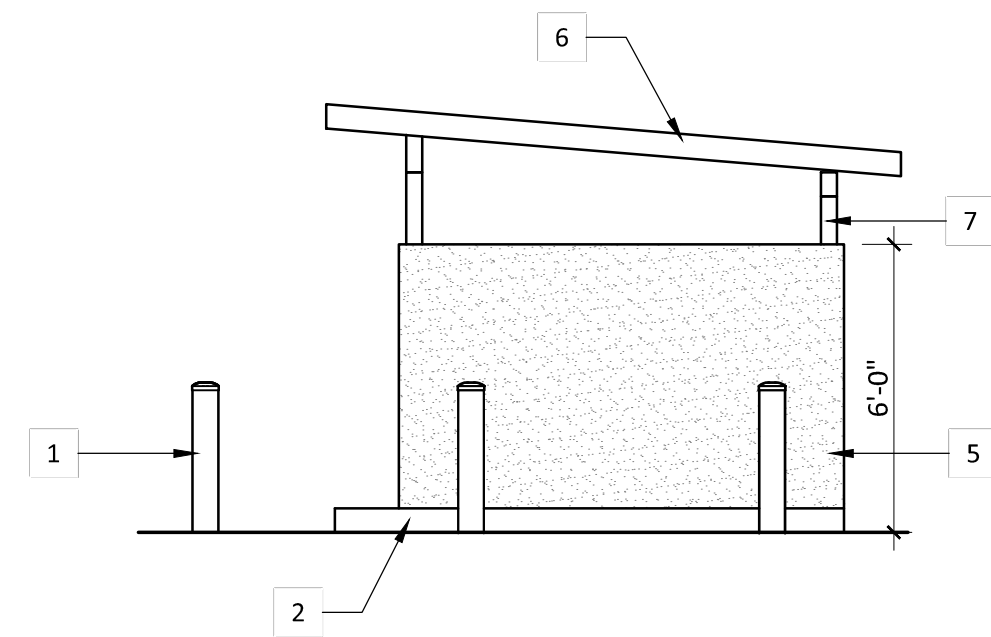
SHEET OF SHEETS



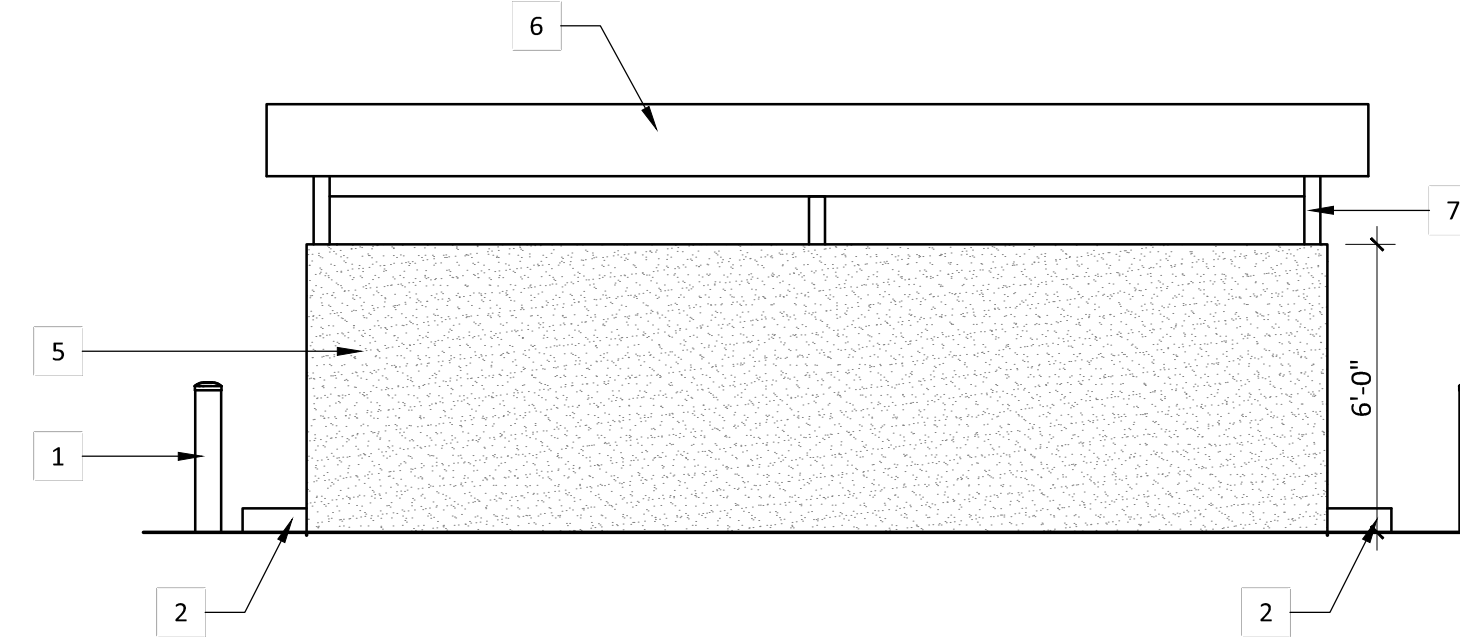
TRASH ENCLOSURE LEFT ELEVATION SCALE: 0 4' 12



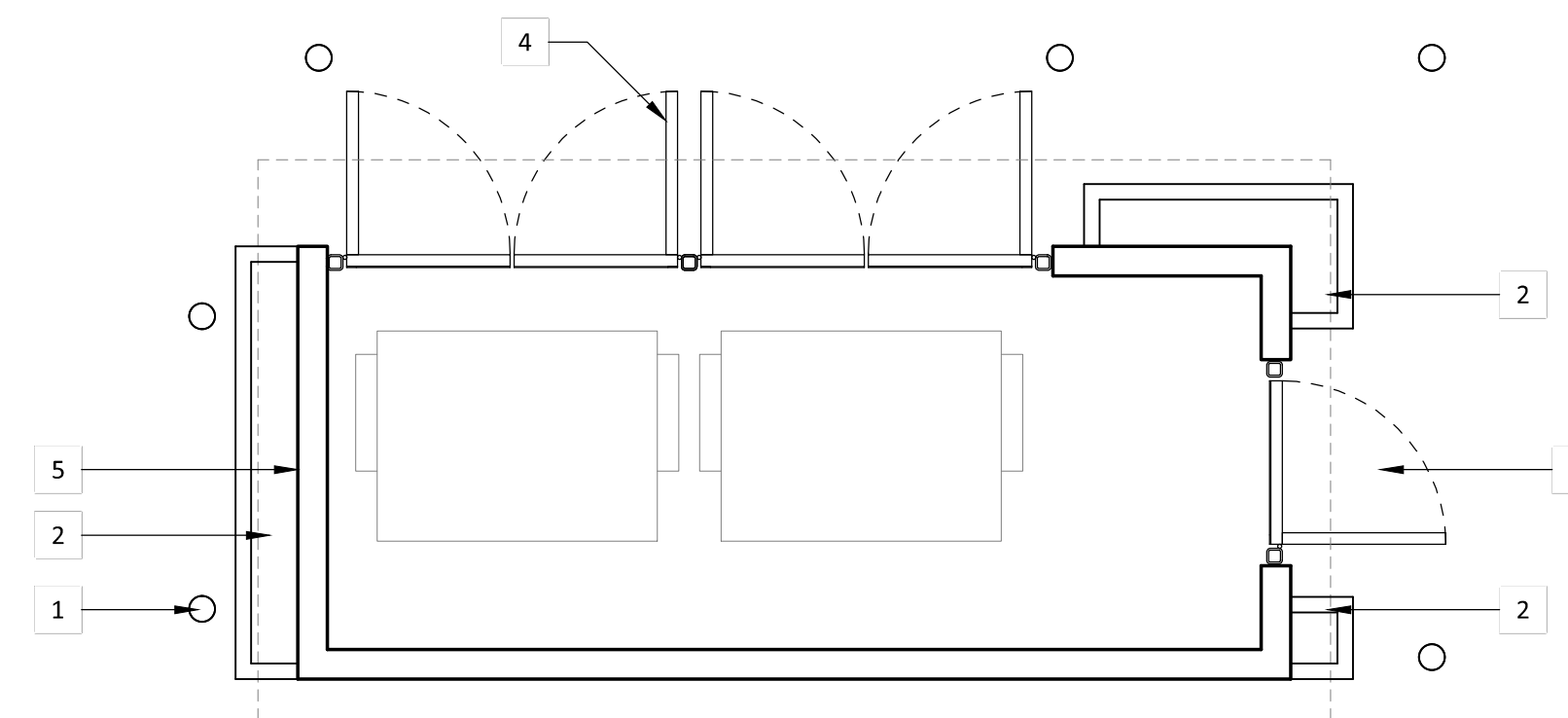
TRASH ENCLOSURE FRONT ELEVATION SCALE: 0 4' 4



TRASH ENCLOSURE RIGHT ELEVATION SCALE: 0 4' 11



TRASH ENCLOSURE REAR ELEVATION SCALE: 0 4' 3



PROPOSED TRASH ENCLOSURE SCALE: 0 4' 1

KEYNOTES

- 1 EXTERIOR POLE MOUNTED LED LIGHTING FIXTURE. GLAN-SA1C-740-U-SL3-PA. SINGLE FIXTURE CONFIGURATION.
- 2 EXTERIOR POLE MOUNTED LED LIGHTING FIXTURE. GLAN-SA2C-740-U-SL3-PA. DOUBLE FIXTURE CONFIGURATION.
- 3 EXTERIOR WALL MOUNTED LIGHTING FIXTURE. D-SERIES SIZE 1 LED. DSX1-LED-10C-1000-40K-T35-MVOLT.
- 4 EXTERIOR RECESSED LED LIGHTING FIXTURE. MCGRAW-EDISON. TT TOPTIER. TT-D1-740-U-MQ.

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2615 SOMERSVILLE ROAD
ANTIOCH, CA 94509

TITLES:
ELECTRICAL SITE PLAN

DATE: 4/12/2022

ARCHITECT'S APPROVAL:

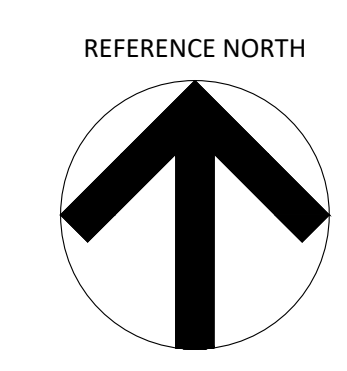
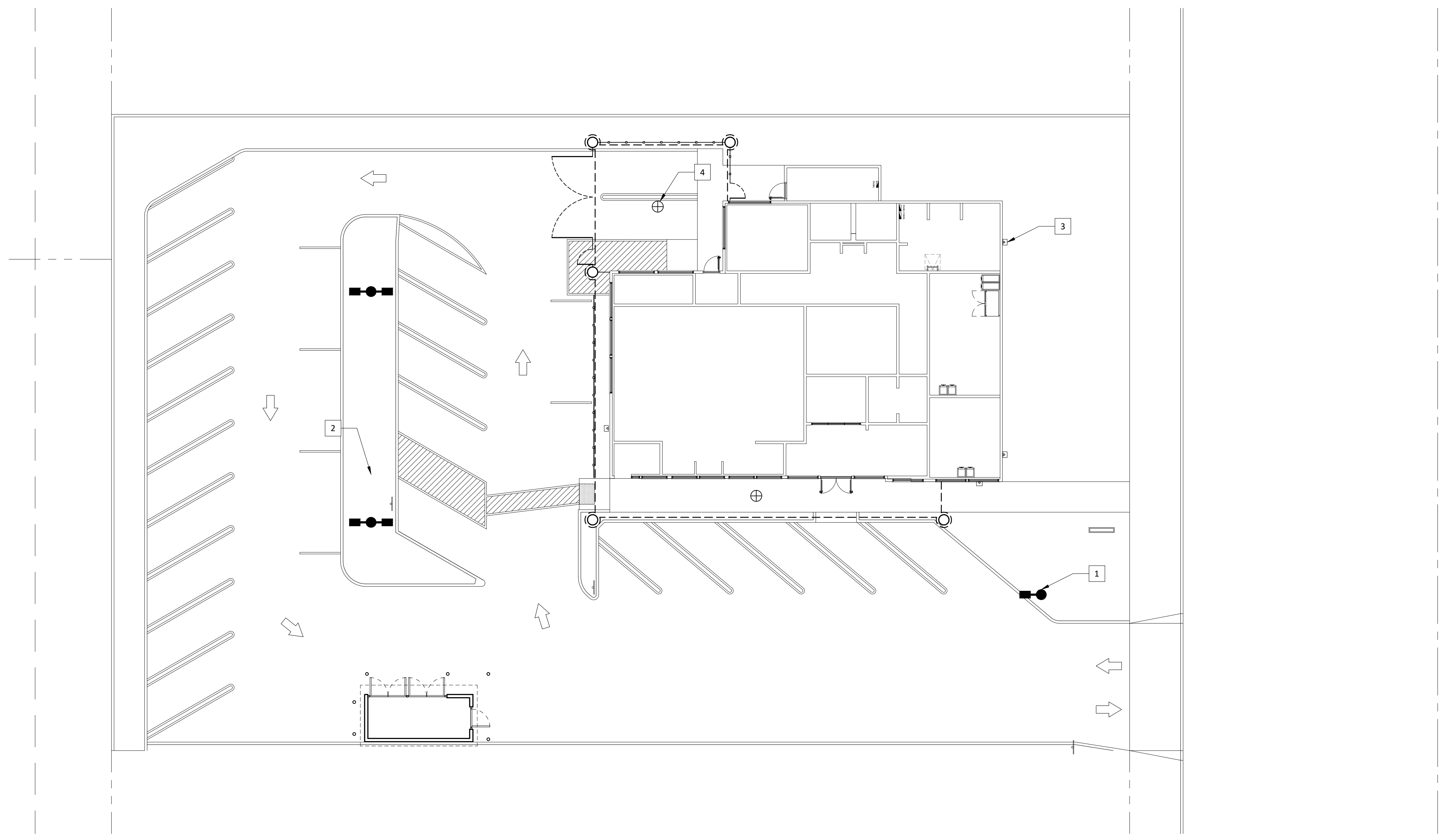


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SHEET:

E2.11

SHEET: OF SHEETS



ELECTRICAL SITE PLAN

SCALE: 0 12'-6" 1

LIGHT LEVEL STATISTICS

DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN
SITE PARKING	+	2.0 fc	7.2 fc	0.2 fc	36.0:1	10.0:1

GRAPHIA
ARCHITECTURE
& ENGINEERING

100 GATEWAY DRIVE, SUITE 120
LINCOLN, CA 95648
(916) 209-9890
Design@GRAPHIA.com
GRAPHIA.com

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PROJECT: 2021102904

CLIENT:
NICK PERRY
2615 SOMERSVILLE ROAD
ANTIOCH, CA 94509

DESIGN REVIEW FOR:

NEW DISPENSARY AT
2615 SOMERSVILLE ROAD
ANTIOCH, CA 94509

TITLES:
SITE PLAN - PHOTOMETRY

DATE: 4/12/2022

ARCHITECT'S APPROVAL:

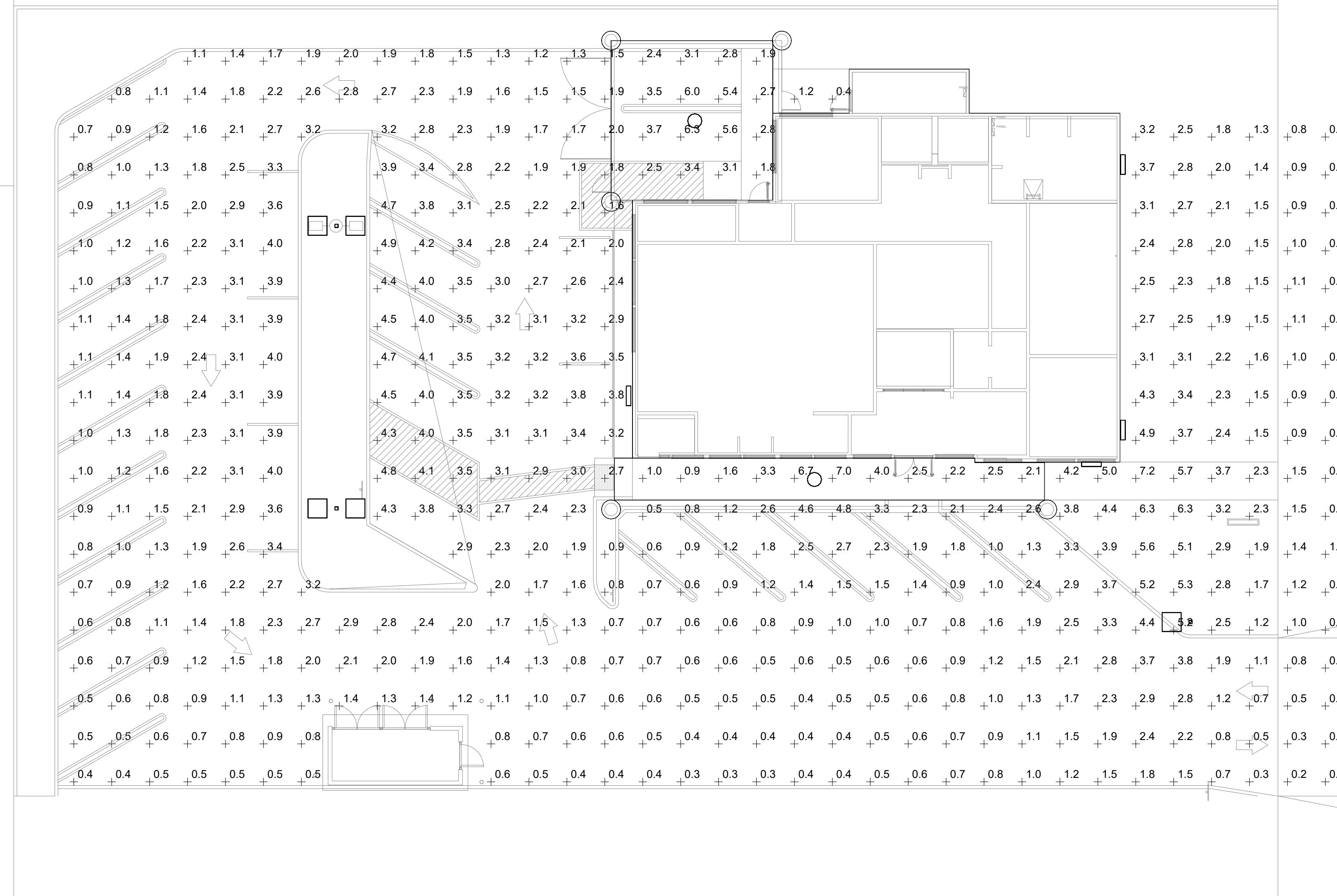


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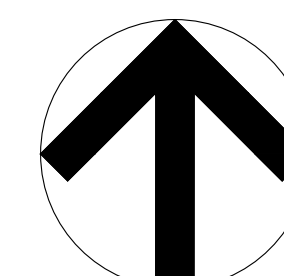
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E2.11

SHEET: OF SHEETS

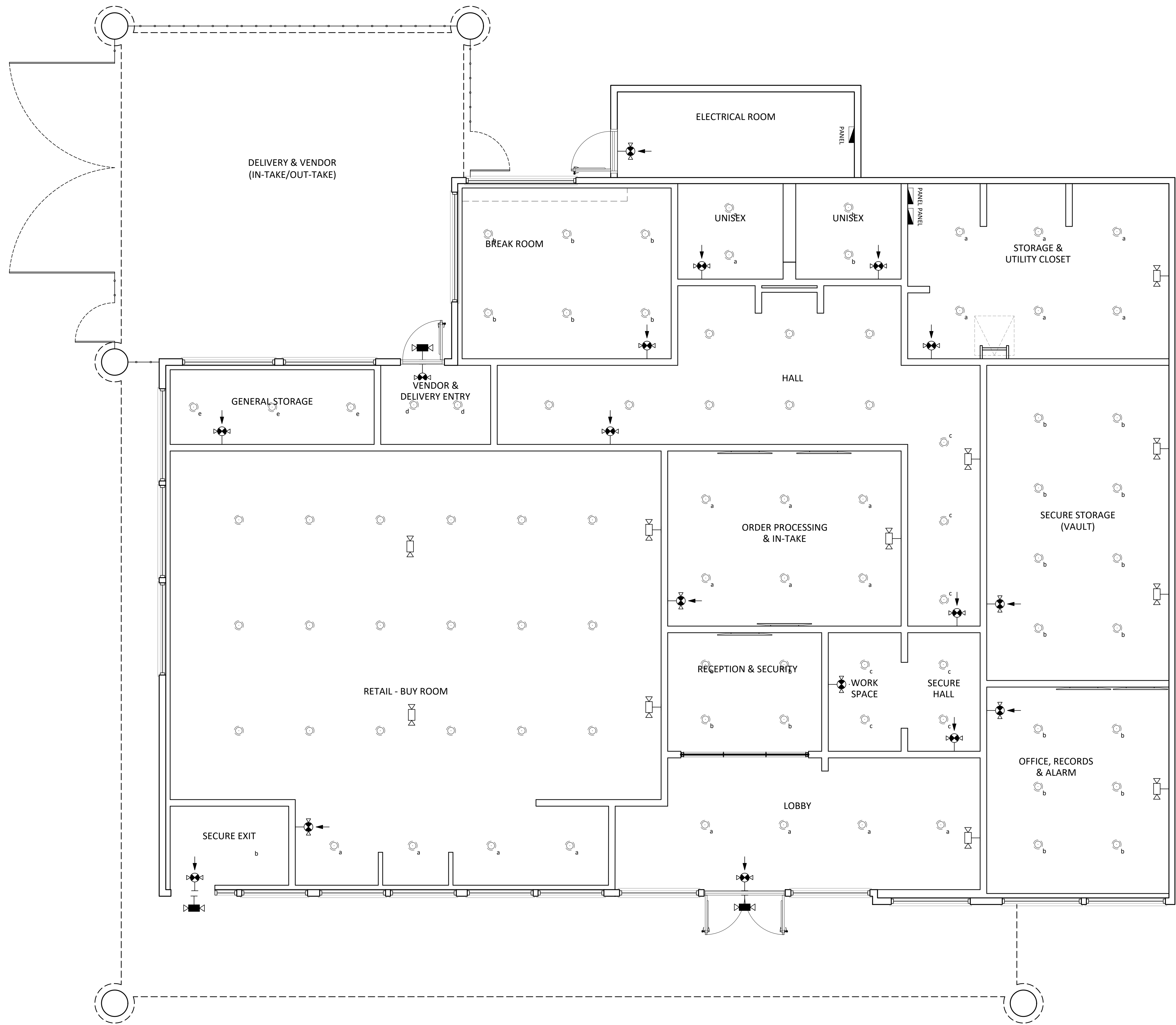


REFERENCE NORTH



SITE PLAN - PHOTOMETRY

SCALE: 0 12'-6" 1



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PROJECT: 2021102904

CLIENT:
 NICK PERRY
 2615 SOMERSVILLE ROAD
 ANTIPOCH, CA 94509

DESIGN REVIEW FOR:

NEW DISPENSARY AT
 2615 SOMERSVILLE ROAD
 ANTIPOCH, CA 94509

TITLES:
 ELECTRICAL LIGHTING PLAN

DATE: 4/12/2022

ARCHITECT'S APPROVAL:



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SHEET:

E4.11

SHEET: OF SHEETS