

LONE TREE RETAIL

PROPOSED NEW DEVELOPMENT

4099 LONE TREE WAY

APN: 072-500-005-3 (PARCEL E)
 APN: 072-500-006-1 (PARCEL F)
 APN: 072-500-007-9 (PARCEL G)
 DATE PREPARED: MARCH 1, 2024

ANTIOCH

CA

Permit No. PD2024-0001



VIEW TO PARCEL 'E' FROM BLUEROCK DR. AND LONE TREE

NOT TO SCALE



VIEW TO PARCEL 'E' AND 'F' FROM BLUEROCK DR.

NOT TO SCALE



VIEW TO PARCEL 'F' FROM LONETREE AVE.

NOT TO SCALE



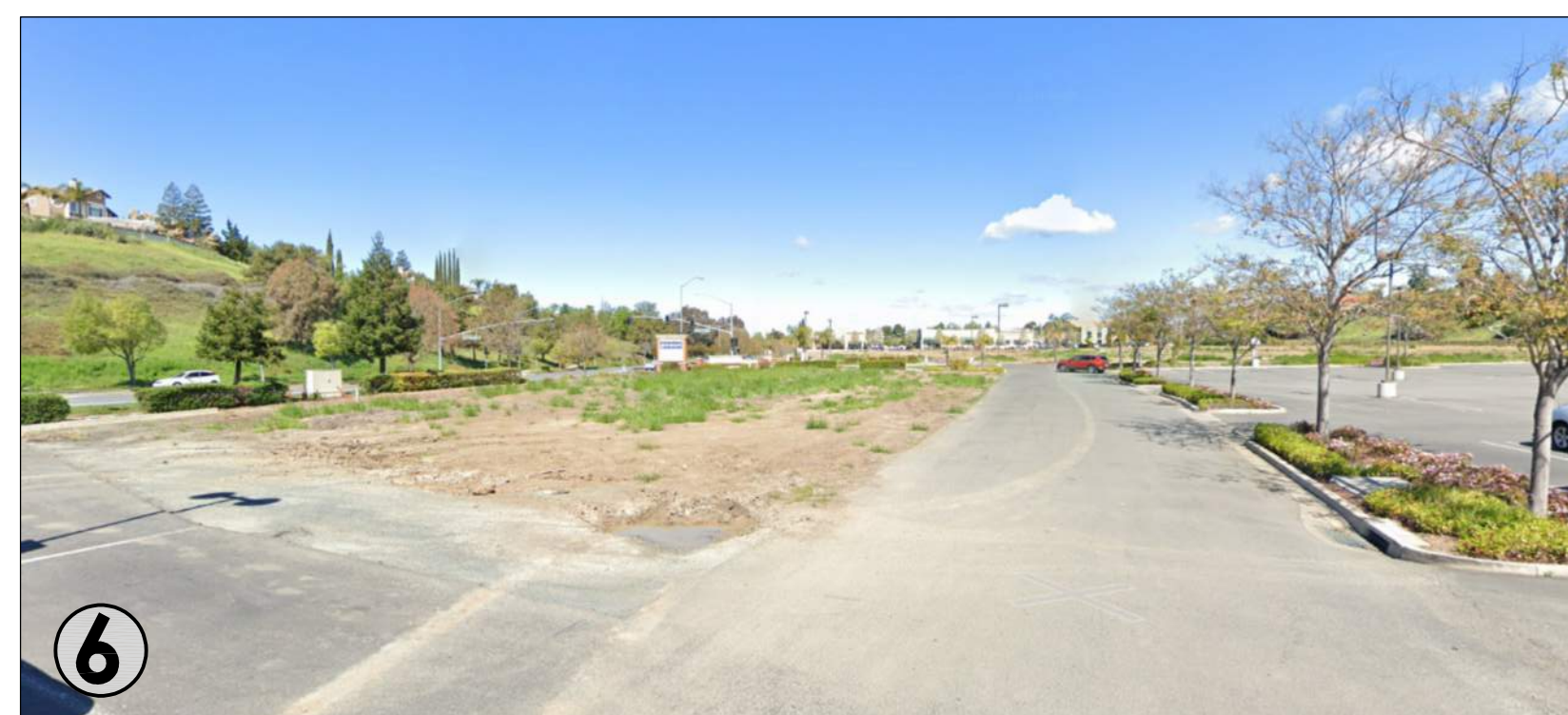
VIEW TO PARCEL 'G' FROM LONETREE AVE.

NOT TO SCALE



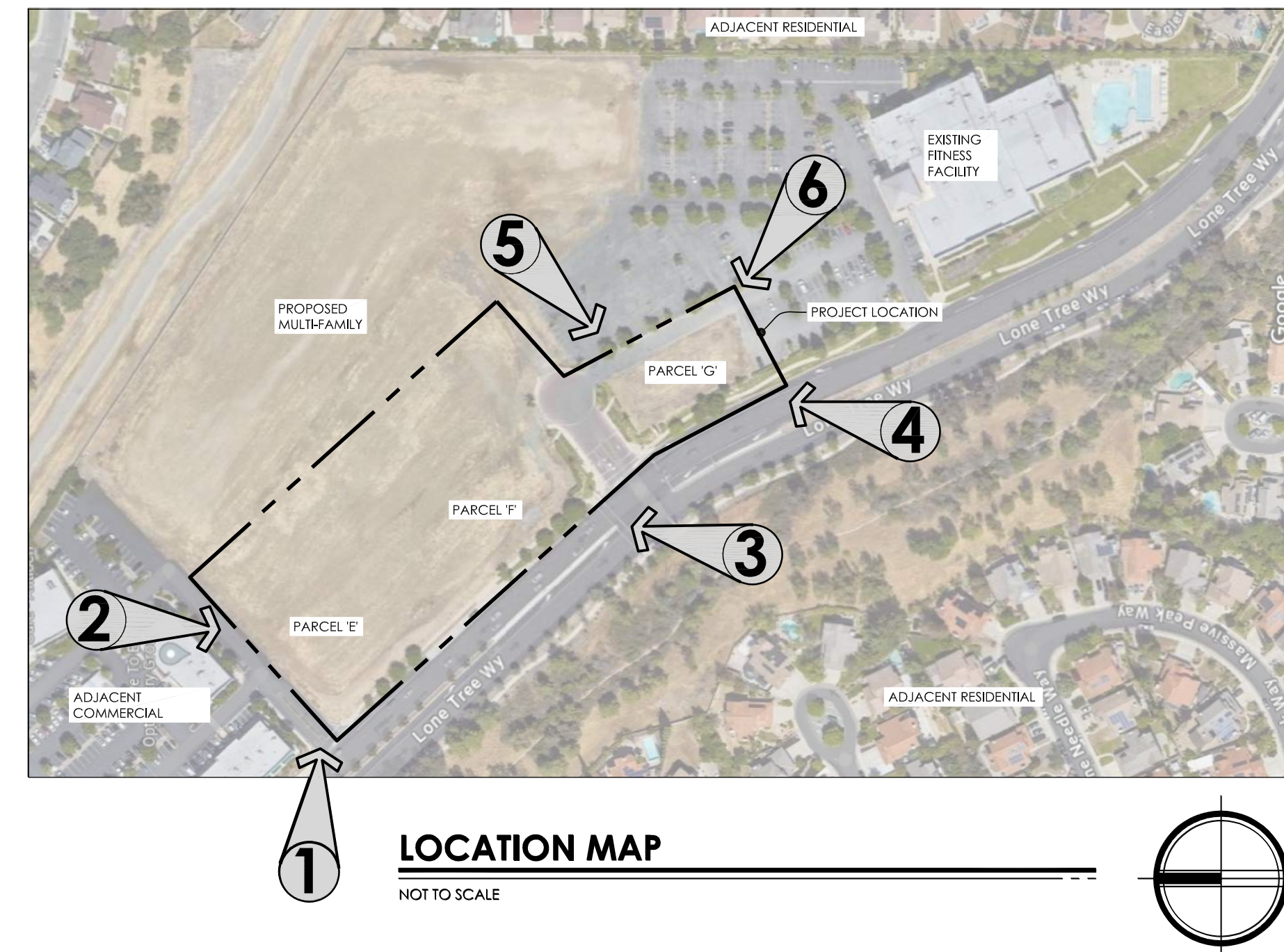
VIEW TO PARCEL 'G'

NOT TO SCALE



VIEW TO PARCEL 'G'

NOT TO SCALE



LOCATION MAP

NOT TO SCALE

PREVIOUS DEVELOPMENT ENTITLEMENTS PD-04-05 AND UP-04-14 WHICH INCLUDED A 126,000 SF COMMERCIAL / RETAIL CENTER AND A 60,000 SF FITNESS FACILITY. THE FITNESS FACILITY (PARCEL A) WAS CONSTRUCTED IN 2007 AND THE BALANCE OF THE PROPERTY HAS REMAINED SUBSTANTIALLY UNDEVELOPED AND VACANT.

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- 1 MONUMENT SIGN

PARCEL MAP

TO BE PROVIDED BY THE SPANOS CORPORATION - LONE TREE APARTMENTS PROJECT

PROPOSED DEVELOPMENT:

LONE TREE RETAIL

4099 LONE TREE WAY
 ANTIOCH, CA.

PLANNING ARCHITECTURE

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 4335-B NORTH STAR WAY
 MODESTO, CA 95356

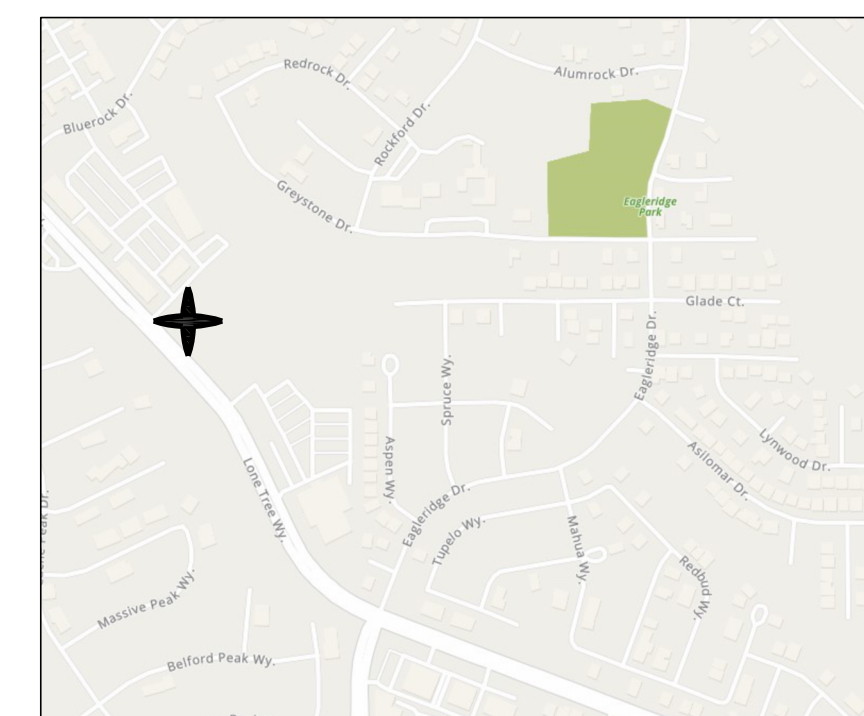
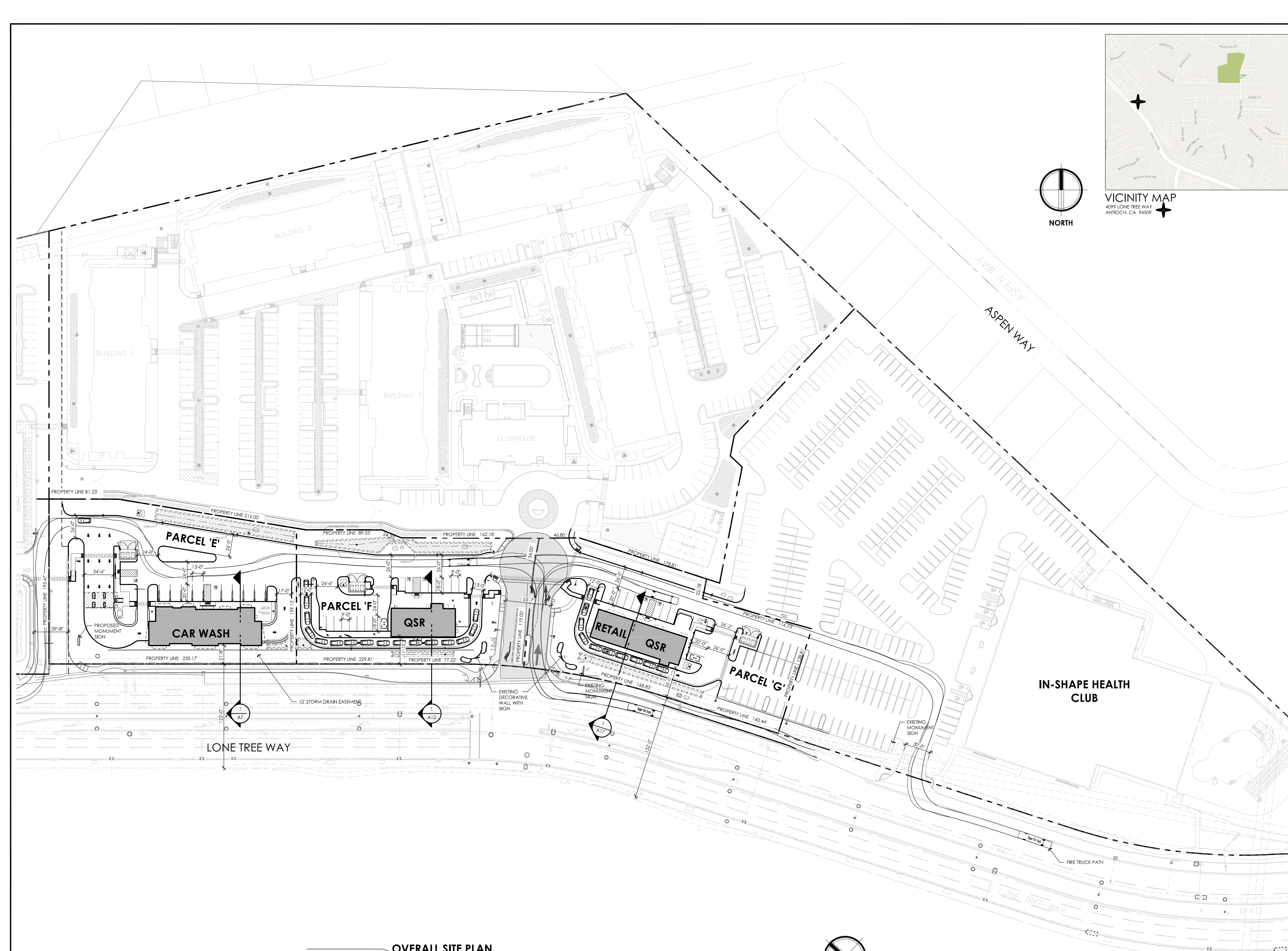
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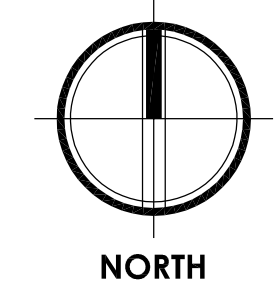
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VICINITY MAP
4099 LONE TREE WAY
ANTIOCH, CA 94509



PROJECT TEAM

PROJECT CONTACT:
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MALIBU, CA 90265
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ARCHITECT:
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(209) 577-4661
CONTACT: RODNEY ALONZO
rod@apiarc.com

CIVIL:
NORTH STAR ENGINEERING GROUP INC.
620 12TH ST.
MODESTO, CA 95354
PHONE: (209) 524-3525
CONTACT: JOHN ELLIS
jellis@nseng.net

PROPERTY DESIGNATIONS

CURRENT ZONE: P-D PLANNED DEVELOPMENT DISTRICT
GENERAL PLAN: NEIGHBORHOOD COMMUNITY COMMERCIAL

PARCEL 'E'

APN: 072-500-005-3
PARCEL AREA: 52,583 S.F. / 1.21 ACRES
BUILDING COVERAGE (OF PROJECT AREA): 5,434 SQ. FT. (10%)
BUILDING USE: CAR WASH
MAXIMUM BUILDING HEIGHT: 35'-0"
PARKING REQUIRED: 7 STALLS
PARKING PROVIDED:
STANDARD: 1 STALLS
ACCESSIBLE: 1 STALLS
VAACUUM (I ACCESSIBLE): 9 STALLS
TOTAL: 11 STALLS

PARCEL 'F'

APN: 072-500-006-1
PARCEL AREA: 41,775 S.F. / .96 AC
BUILDING COVERAGE (OF PROJECT AREA): 2,550 SQ. FT. (6.1%)
BUILDING USE: QUICK SERVICE RESTAURANT / RETAIL
MAXIMUM BUILDING HEIGHT: 35'-0"
PARKING REQUIRED:
QUICK SERVICE RESTAURANT 850 SQ. FT. DINING AREA / 50 SQ. FT. = 17 STALLS
TOTAL PARKING REQUIRED: 17 STALLS
PARKING PROVIDED:
STANDARD: 13 STALLS
COMPACT: 1 STALLS
ACCESSIBLE: 2 STALLS
TOTAL PARKING PROVIDED: 17 STALLS

PARCEL 'G'

APN: 072-500-007-9
PARCEL AREA: 45,738 S.F. / 1.05 AC
BUILDING COVERAGE (OF PROJECT AREA): 3,760 SQ. FT. (8%)
BUILDING USE: QUICK SERVICE RESTAURANT / RETAIL
MAXIMUM BUILDING HEIGHT: 35'-0"
PARKING REQUIRED:
QUICK SERVICE RESTAURANT 500 SQ. FT. DINING AREA / 50 SQ. FT. = 10 STALLS
RETAIL 1,460 SQ. FT. / 200 SQ. FT. = 7 STALLS
TOTAL PARKING REQUIRED: 17 STALLS
PARKING PROVIDED:
STANDARD: 17 STALLS
ACCESSIBLE: 2 STALLS
TOTAL PARKING PROVIDED: 19 STALLS

IN-SHAPE (EXISTING)

PARKING REQUIRED:
FITNESS FACILITY 59,513 S.F. / 200 = 297 STALLS
PARKING PROVIDED:
TOTAL PARKING PROVIDED: 300 STALLS

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PLANNING ARCHITECTURE



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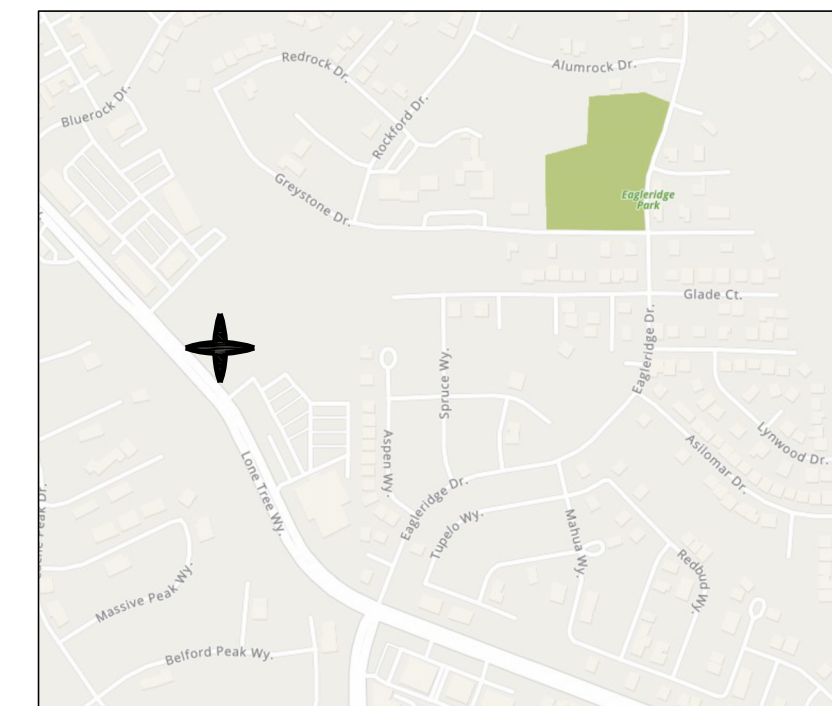
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OVERALL SITE PLAN

SCALE: 1" = 50'-0"



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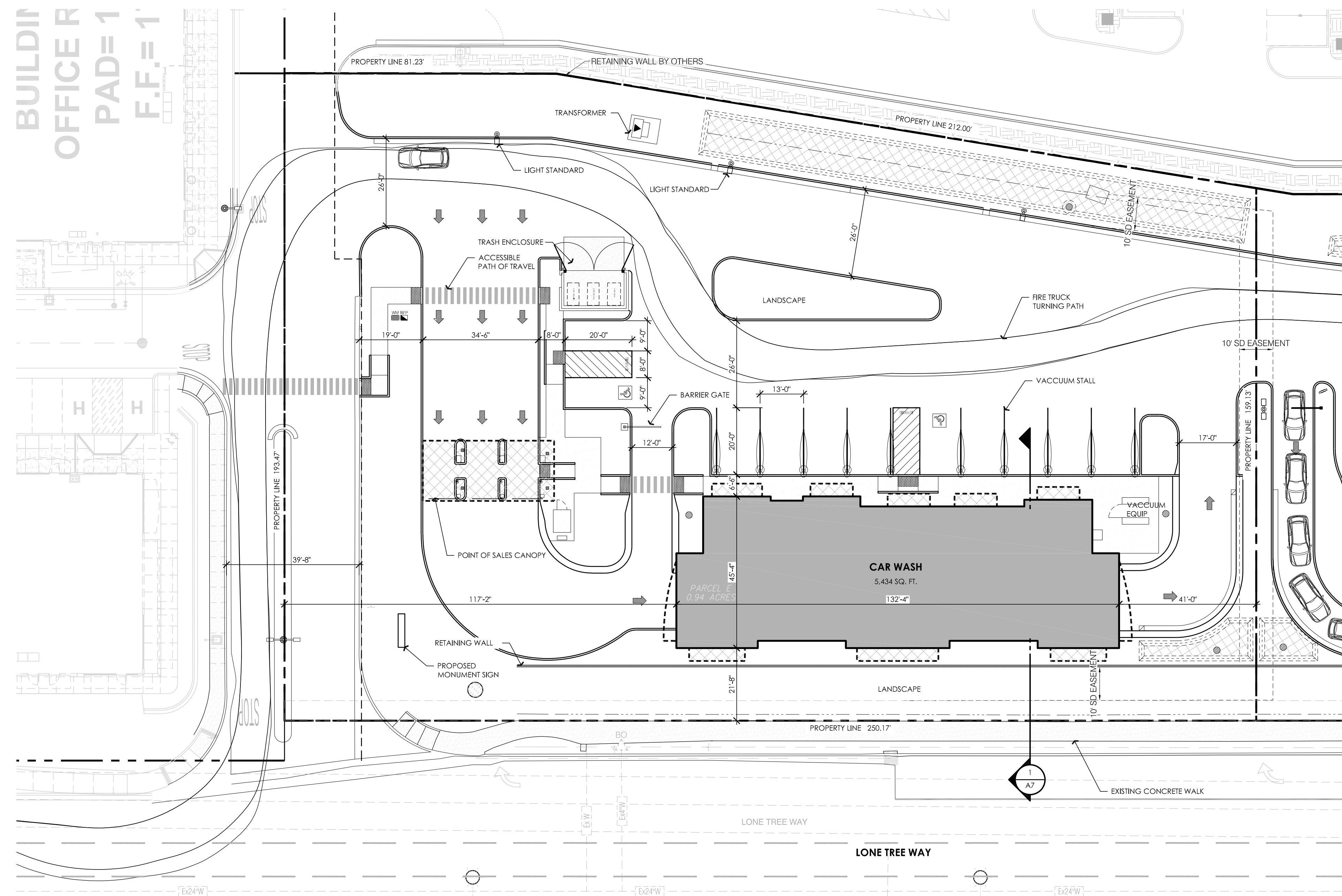


VICINITY MAP
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ANTIOCH, CA 94509

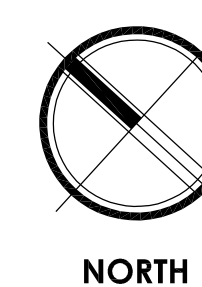
PARCEL 'E'

APN: 072-500-005-3

PARCEL AREA:	52,583 S.F. / 1.21 ACRES
BUILDING COVERAGE (OF PROJECT AREA):	5,434 SQ. FT. (10%)
BUILDING USE:	CAR WASH
MAXIMUM BUILDING HEIGHT:	35'-0"
PARKING REQUIRED:	7 STALLS
PARKING PROVIDED:	
STANDARD:	1 STALLS
ACCESSIBLE:	1 STALLS
VACUUM (1 ACCESSIBLE):	9 STALLS
TOTAL:	11 STALLS



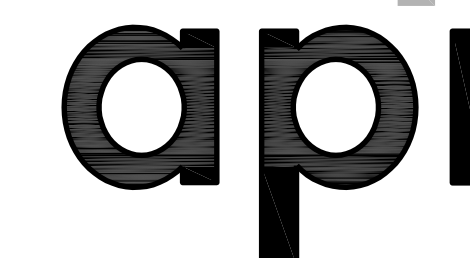
1 PARCEL 'E' ENLARGED SITE PLAN
SCALE: 1" = 20'-0"



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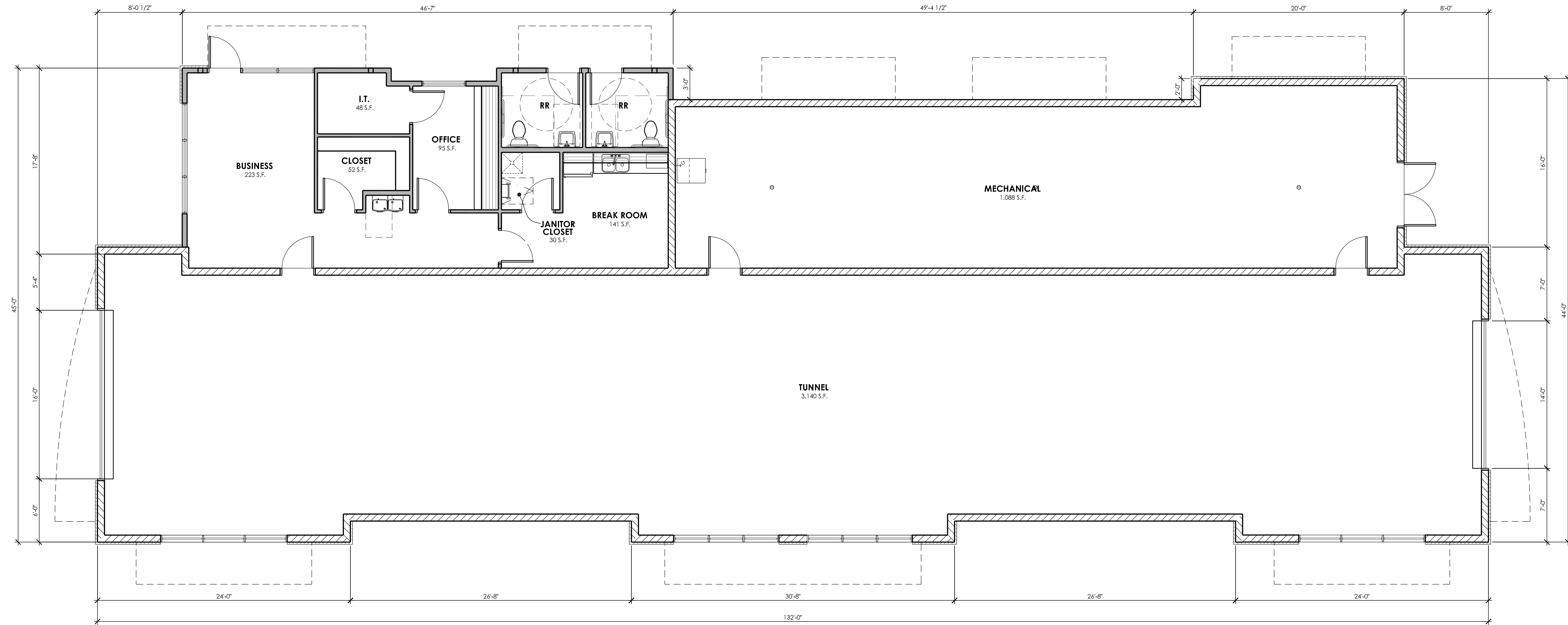


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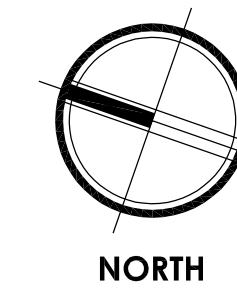
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PARCEL 'E' - FLOOR PLAN

SCALE: 3/16" = 1'-0"



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REFERENCE KEY

- 1 CMU
- 2 BRICK VENEER
- 3 METAL PANEL
- 4 STANDING SEAM ROOF PANEL
- 5 EXTERIOR INSULATION FINISHING SYSTEM
- 6 STOREFRONT SYSTEM
- 7 METAL WALL PANEL
- 8 PROPOSED SIGNAGE
- 9 WALL MOUNTED LIGHT FIXTURE
- 10 POLYCARBONATE OVERHEAD DOOR
- 11 TRELIS
- 12 HOLLOW METAL DOOR AND FRAME

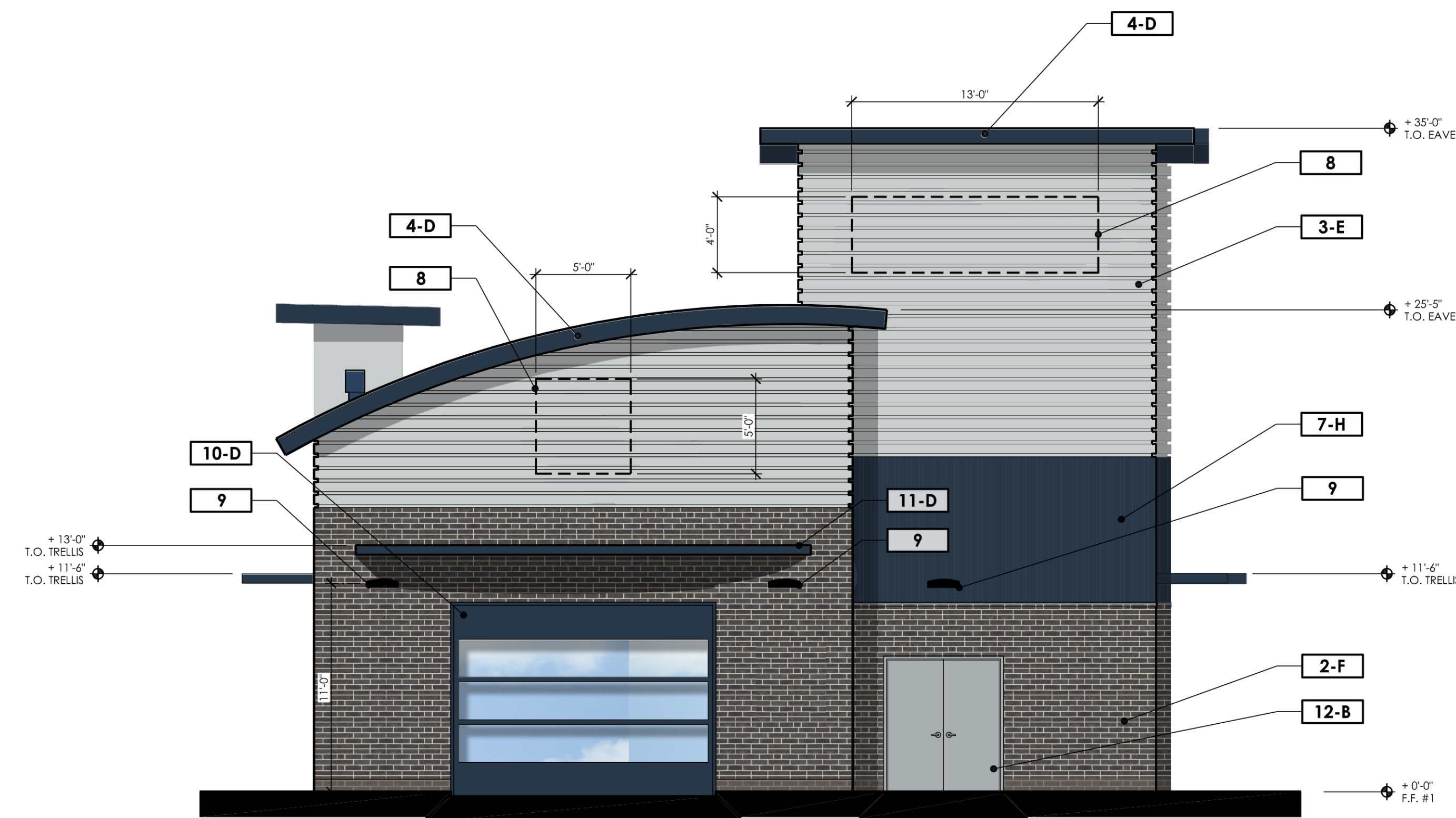
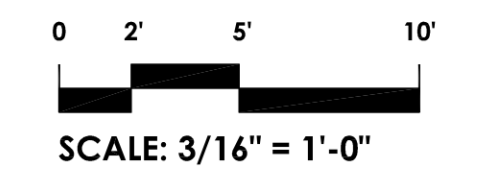
Note:
 Tenant signage to be maximum size allowed per the City of Antioch Municipal Code.
 Signage materials to meet the requirements of the City of Antioch Municipal Code and design guidelines.

FINISH LEGEND

<p>A EXTERIOR PAINT SHERWIN WILLIAMS WALL STREET #SW7665</p>	<p>E ALUMABOARD PRE-FINISHED METAL PANEL COLOR: SIGNAL WHITE</p>
<p>B EXTERIOR PAINT SHERWIN WILLIAMS MORNING FOG #SW6255</p>	<p>F MANUFACTURER: BELDEN BRICK COLOR: METALLIC BLACK DART-TEX</p>
<p>C EXTERIOR PAINT SHERWIN WILLIAMS DRESS BLUES #SW9176</p>	<p>G MANUFACTURER: KAWNEER PROFILE: CLEAR ANODIZED ALUMINUM COLOR: CLEAR</p>
<p>D EXTERIOR PAINT SHERWIN WILLIAMS IN THE NAVY #SW9178</p>	<p>H MANUFACTURER: CTMBS PROFILE: PRE-FINISHED R-PANEL COLOR: IN THE NAVY #SW9178</p>

GENERAL NOTES

1. COLORS INDICATED ON THIS DRAWING ARE APPROXIMATE AND WILL VARY DEPENDING ON PRINTER/MONITOR SOURCE. REFER TO COLORS AND MATERIALS BOARD FOR TRUE REPRESENTATION OF ALL PROPOSED FINISHES.



PARCEL 'E' SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



PARCEL 'E' WEST ELEVATION

SCALE: 3/16" = 1'-0"

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PARCEL 'E' NORTH ELEVATION

SCALE: 3/16" = 1'-0"

REFERENCE KEY

- 1 CMU
- 2 BRICK VENEER
- 3 METAL PANEL
- 4 STANDING SEAM ROOF PANEL
- 5 EXTERIOR INSULATION FINISHING SYSTEM
- 6 STOREFRONT SYSTEM
- 7 METAL WALL PANEL
- 8 PROPOSED SIGNAGE
- 9 WALL MOUNTED LIGHT FIXTURE
- 10 POLYCARBONATE OVERHEAD DOOR
- 11 TRELLIS
- 12 HOLLOW METAL DOOR AND FRAME

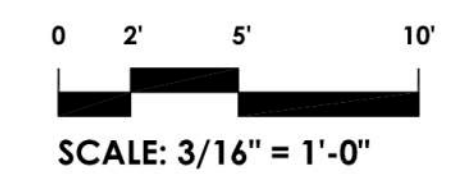
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FINISH LEGEND

<p>A EXTERIOR PAINT SHERWIN WILLIAMS WALL STREET #SW7665</p>	<p>E ALUMABOARD PRE-FINISHED METAL PANEL COLOR: SIGNAL WHITE</p>
<p>B EXTERIOR PAINT SHERWIN WILLIAMS MORNING FOG #SW6255</p>	<p>F MANUFACTURER: BELDEN BRICK COLOR: METALLIC BLACK DART-TEX</p>
<p>C EXTERIOR PAINT SHERWIN WILLIAMS DRESS BLUES #SW9176</p>	<p>G MANUFACTURER: KAWNEER PROFILE: CLEAR ANODIZED ALUMINUM COLOR: CLEAR</p>
<p>D EXTERIOR PAINT SHERWIN WILLIAMS IN THE NAVY #SW9178</p>	<p>H MANUFACTURER: CTMBS PROFILE: PRE-FINISHED R-PANEL COLOR: IN THE NAVY #SW9178</p>

GENERAL NOTES

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PARCEL 'E' EAST ELEVATION

SCALE: 3/16" = 1'-0"

**PROPOSED DEVELOPMENT:
 LONE TREE
 RETAIL**

**4099 LONE TREE WAY
 ANTIOCH, CA.**

PLANNING
 ARCHITECTURE

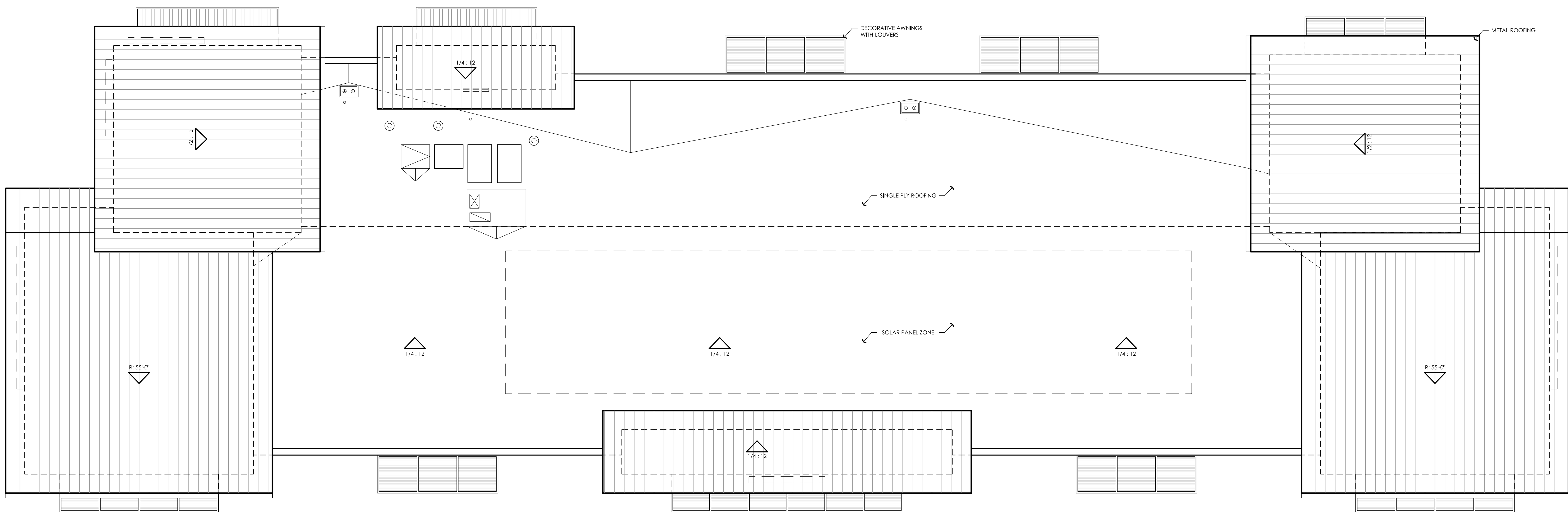


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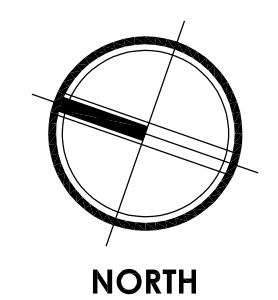
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PARCEL 'E' - ROOF PLAN

SCALE: 3/16" = 1'-0"



**PROPOSED DEVELOPMENT:
LONE TREE RETAIL**

**4099 LONE TREE WAY
ANTIOCH, CA.**

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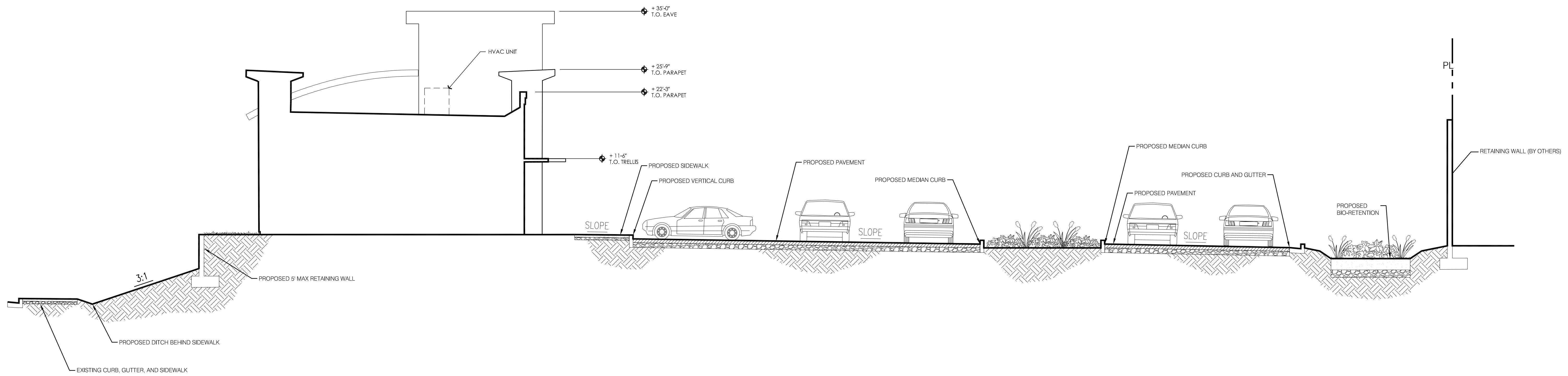


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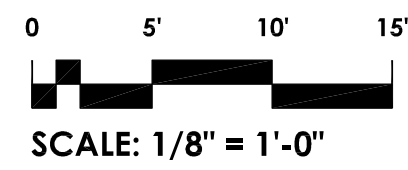
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PROPOSED RESIDENTIAL DEVELOPMENT (BY OTHERS)

PARCEL 'E' SECTION

SCALE: 1/8" = 1'-0"



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RETAIL**

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ANTIOCH, CA.**

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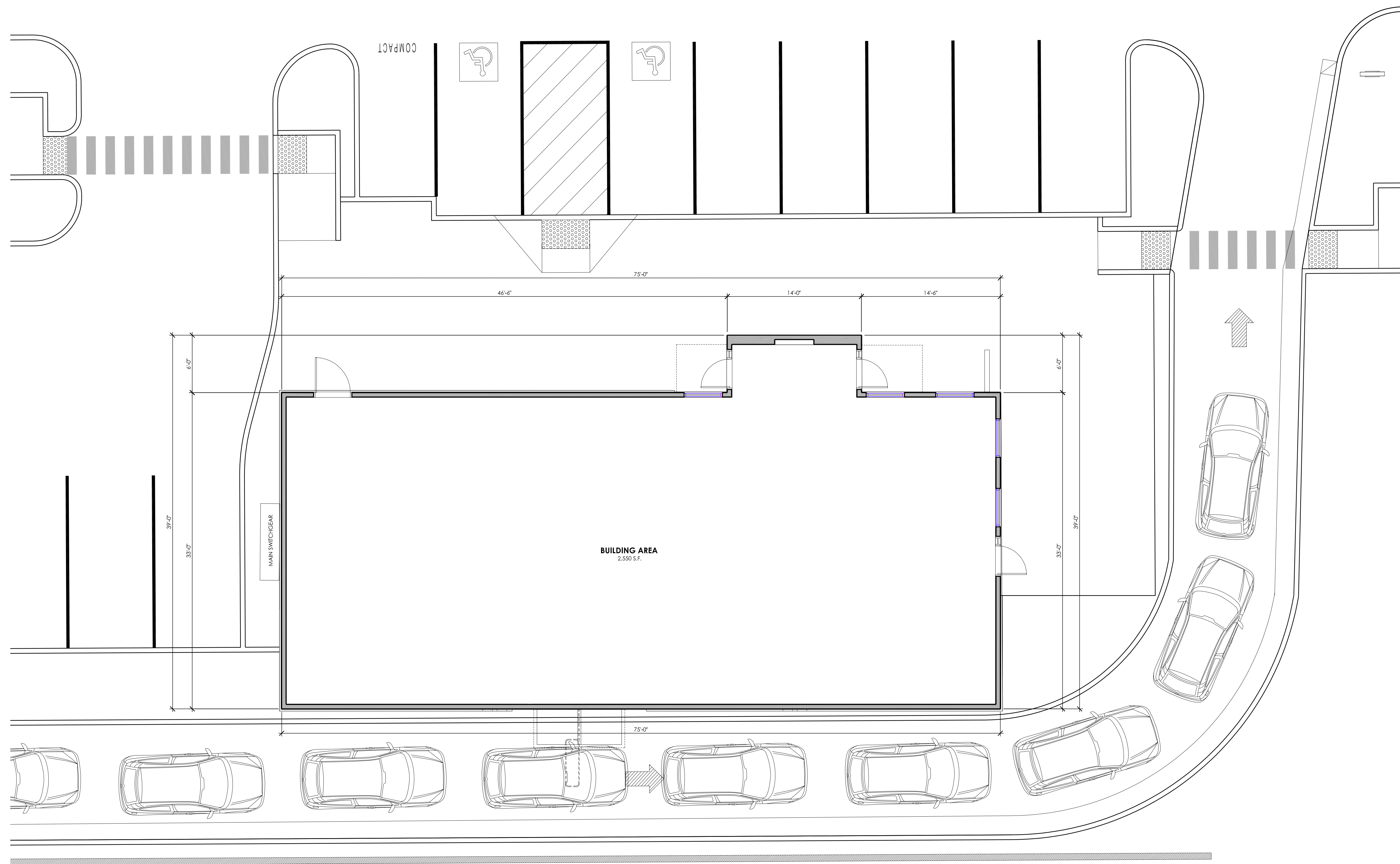


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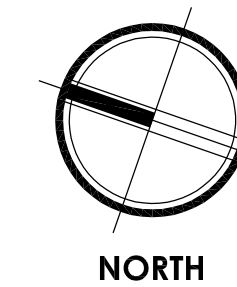
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PARCEL 'F' FLOOR PLAN

SCALE: 3/16" = 1'-0"



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**4099 LONE TREE WAY
ANTIOCH, CA.**

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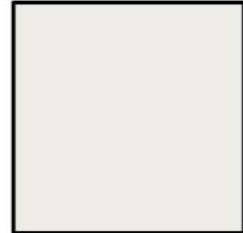



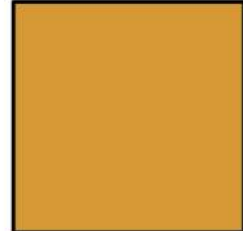
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FINISH LEGEND

 A EXTERIOR PAINT SHERWIN WILLIAMS PURE WHITE #SW7005	 D MANUFACTURER: BELDEN BRICK COLOR: METALLIC BLACK DART-TEX
 B EXTERIOR PAINT SHERWIN WILLIAMS STORM CLOUD #SW6249	 E MANUFACTURER: OLDCASTLE PROFILE: FG-3000 COLOR: BLACK
 C EXTERIOR PAINT SHERWIN WILLIAMS TRINKET #SW6685	

REFERENCE KEY

- 1** EXTERIOR CEMENT PLASTER
- 2** CANOPY SOFFIT
- 3** BRICK VENEER
- 4** STOREFRONT SYSTEM
- 5** VERTICAL METAL PANEL
- 6** PROPOSED SIGNAGE
- 7** WALL MOUNTED LIGHT FIXTURE
- 8** HOLLOW METAL DOOR AND FRAME
- 9** PARAPET CAP
- 10** DOWNSPOUT AND OVERFLOW
- 11** ELECTRICAL SWITCHGEAR

Note:
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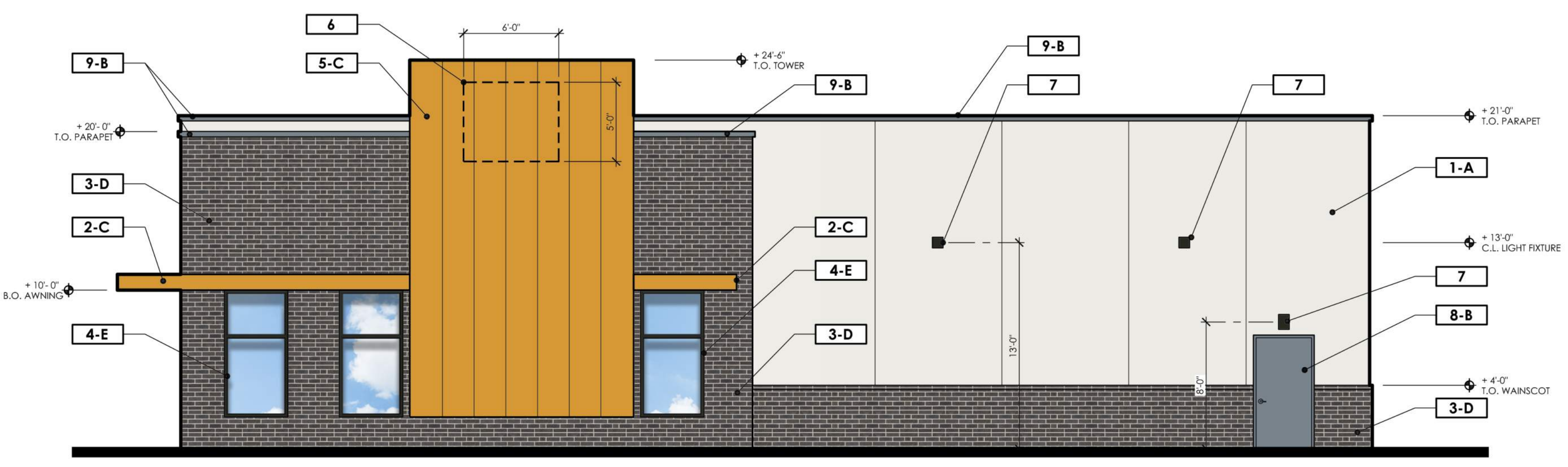
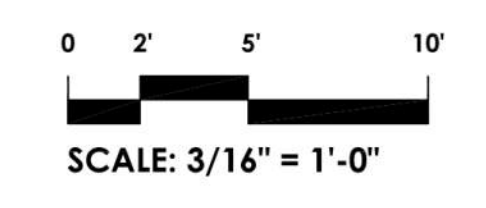


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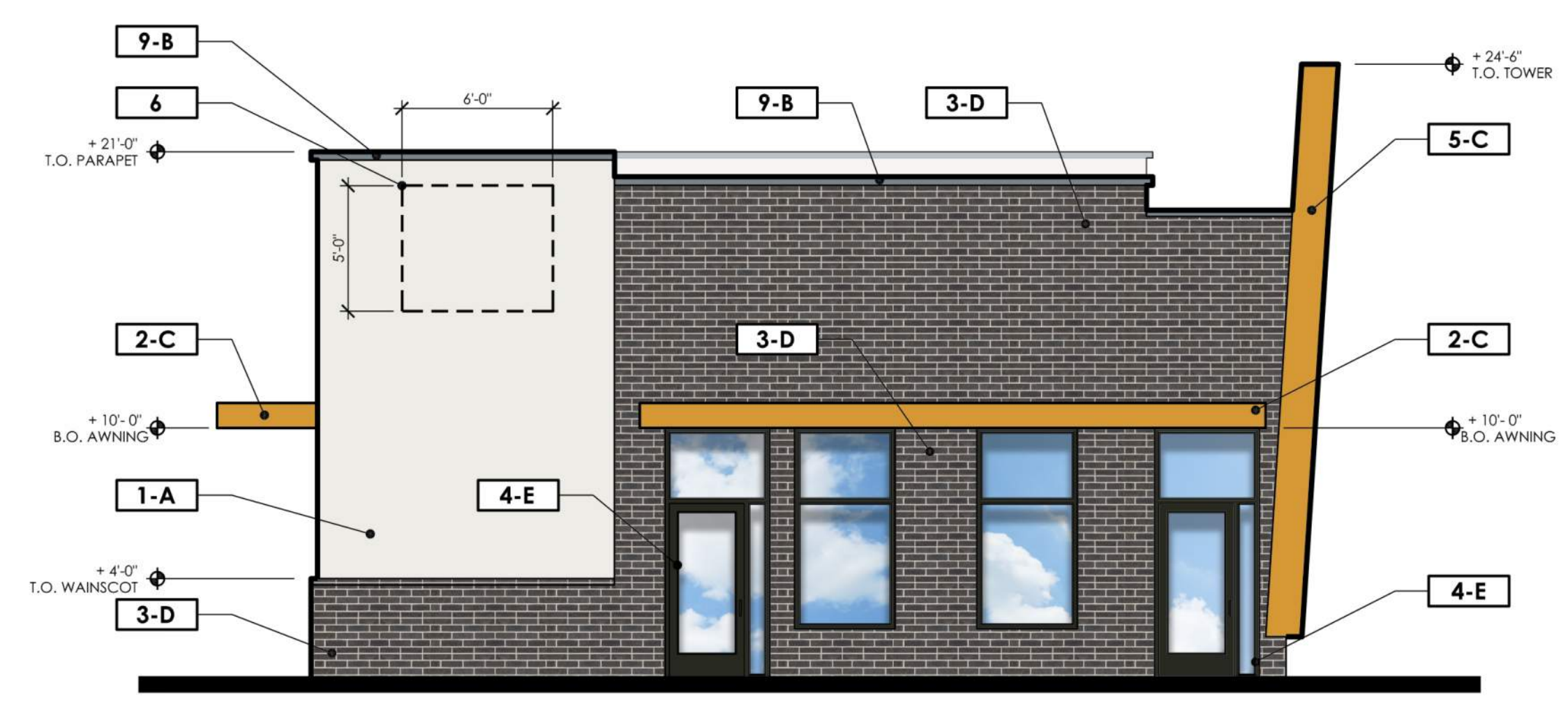
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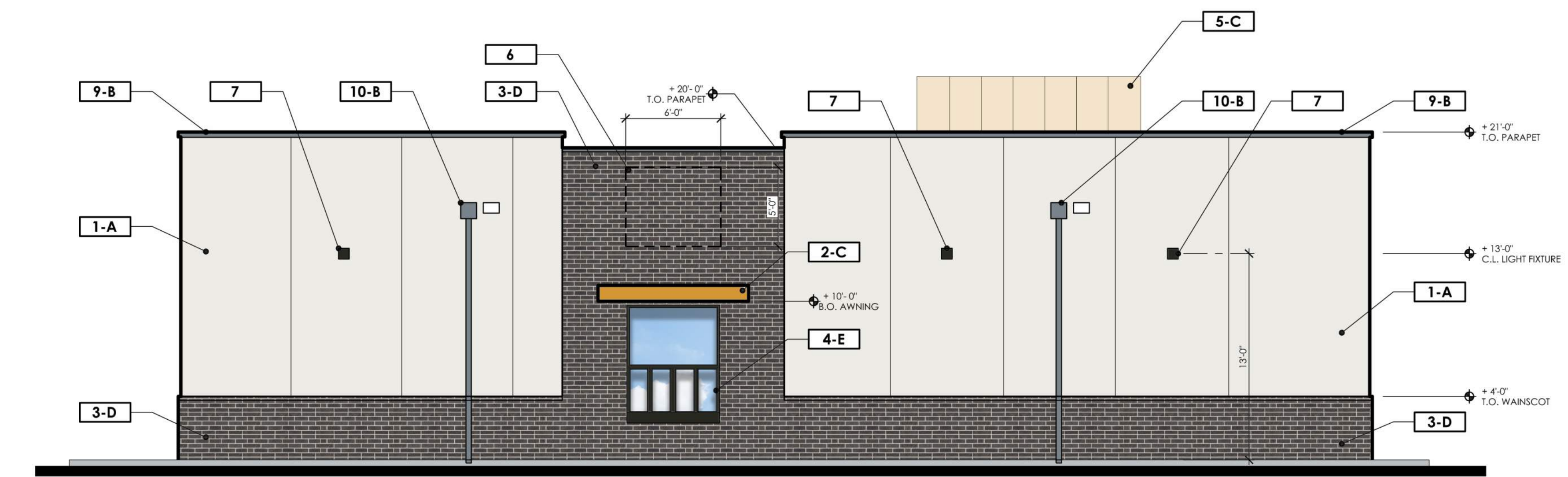
PARCEL 'F' EAST ELEVATION

SCALE: 3/16" = 1'-0"



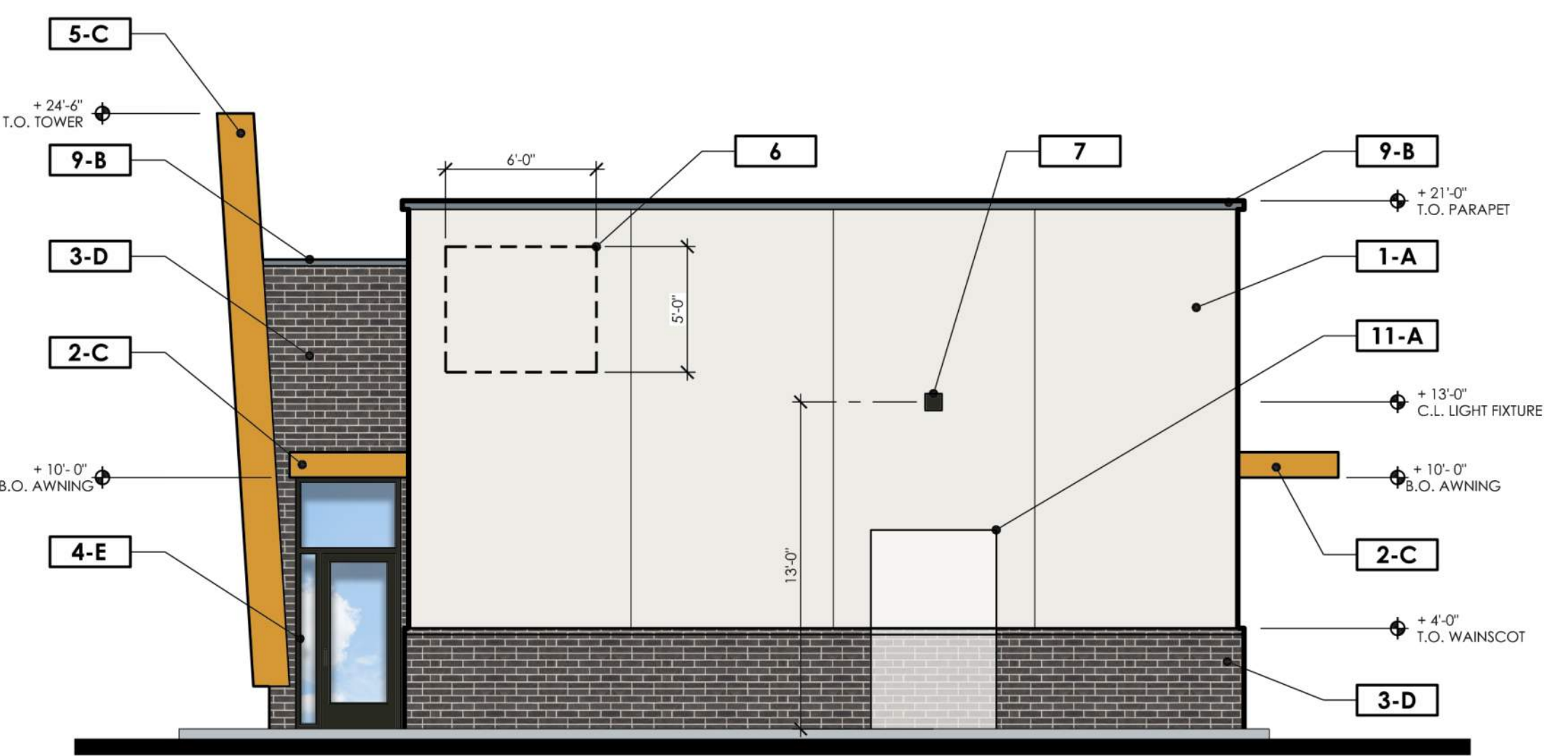
PARCEL 'F' SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



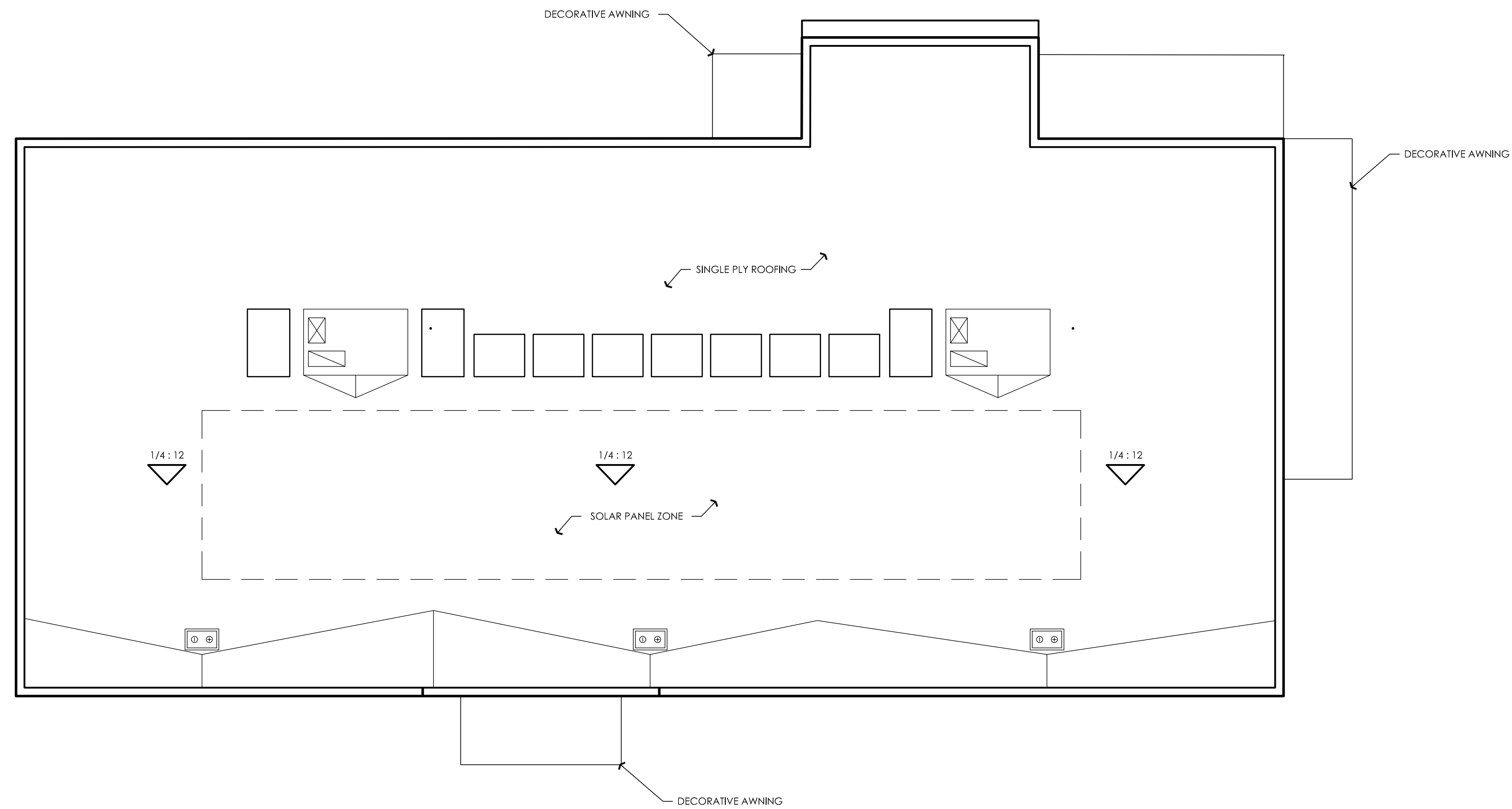
PARCEL 'F' WEST ELEVATION

SCALE: 3/16" = 1'-0"



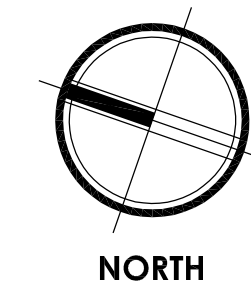
PARCEL 'F' NORTH ELEVATION

SCALE: 3/16" = 1'-0"



PARCEL 'F' ROOF PLAN

SCALE: 3/16" = 1'-0"



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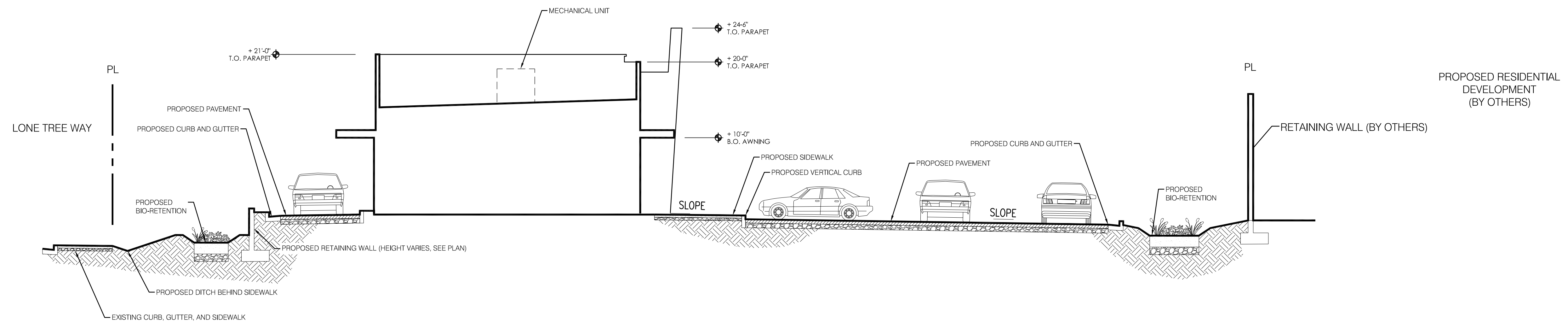
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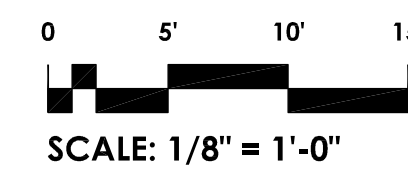
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PARCEL 'F' SECTION

SCALE: 1/8" = 1'-0"



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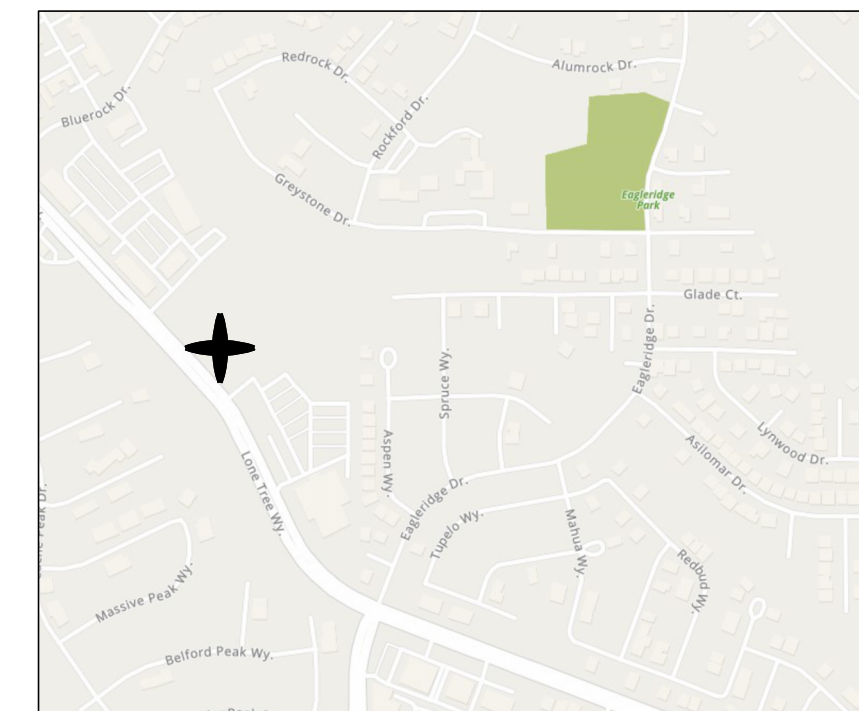
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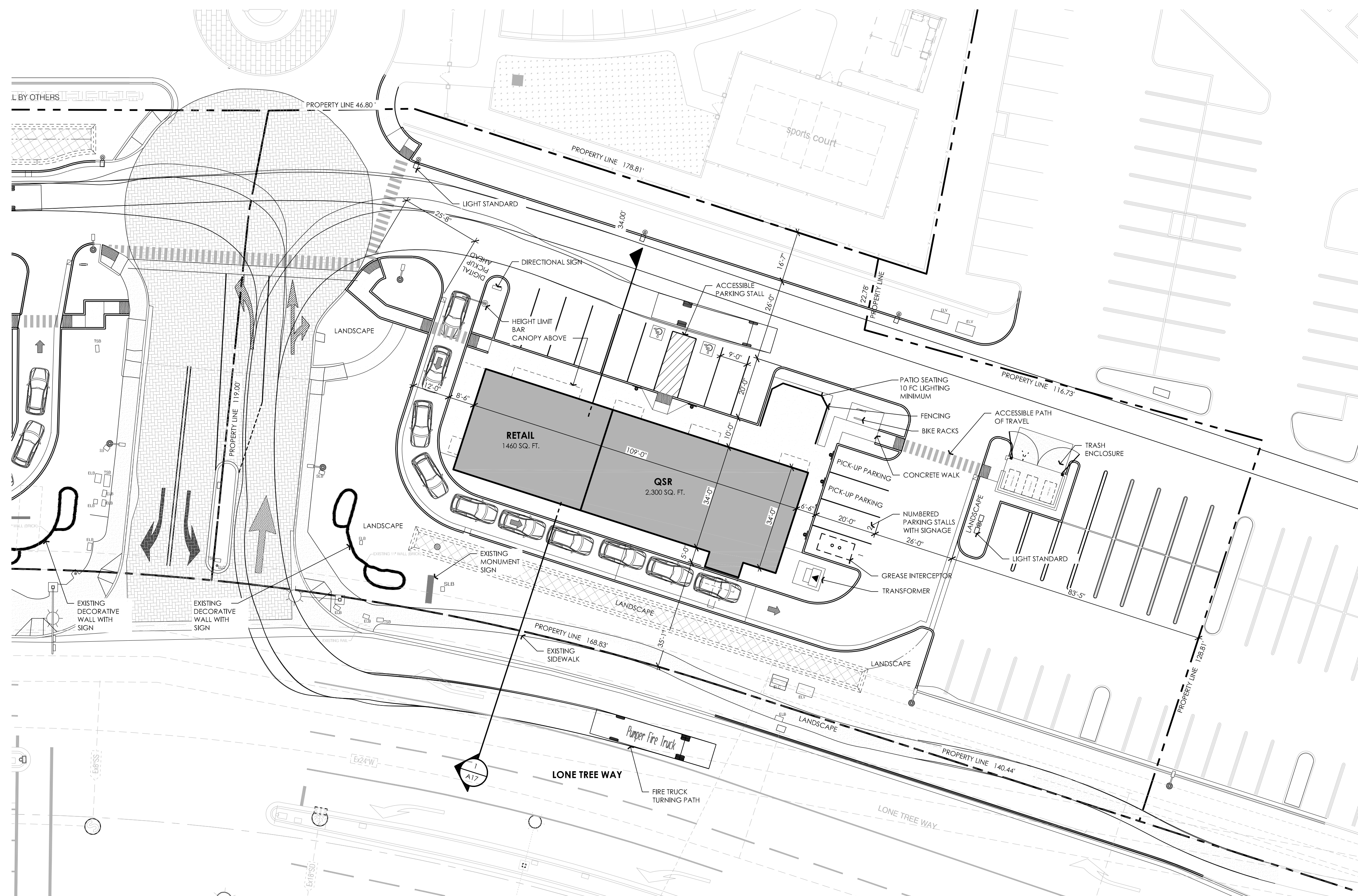


VICINITY MAP
4099 LONE TREE WAY
ANTIOCH, CA 94509

PARCEL 'G'

APN: 072-500-007-9

PARCEL AREA:	45,738 S.F. / 1.05 AC
BUILDING COVERAGE (OF PROJECT AREA):	3,760 SQ. FT. (8%)
BUILDING USE:	QUICK SERVICE RESTAURANT / RETAIL
MAXIMUM BUILDING HEIGHT:	35'-0"
PARKING REQUIRED	
QUICK SERVICE RESTAURANT 500 SQ. FT. DINING AREA / 50 SQ. FT. =	10 STALLS
RETAIL 1,460 SQ. FT. / 200 SQ. FT. =	7 STALLS
TOTAL PARKING REQUIRED	17 STALLS
PARKING PROVIDED	
STANDARD:	17 STALLS
ACCESSIBLE:	2 STALLS
TOTAL PARKING PROVIDED	19 STALLS



1 PARCEL 'G' ENLARGED SITE PLAN
SCALE: 1" = 20'-0"



PROPOSED DEVELOPMENT:
LONE TREE RETAIL

4099 LONE TREE WAY
ANTIOCH, CA.

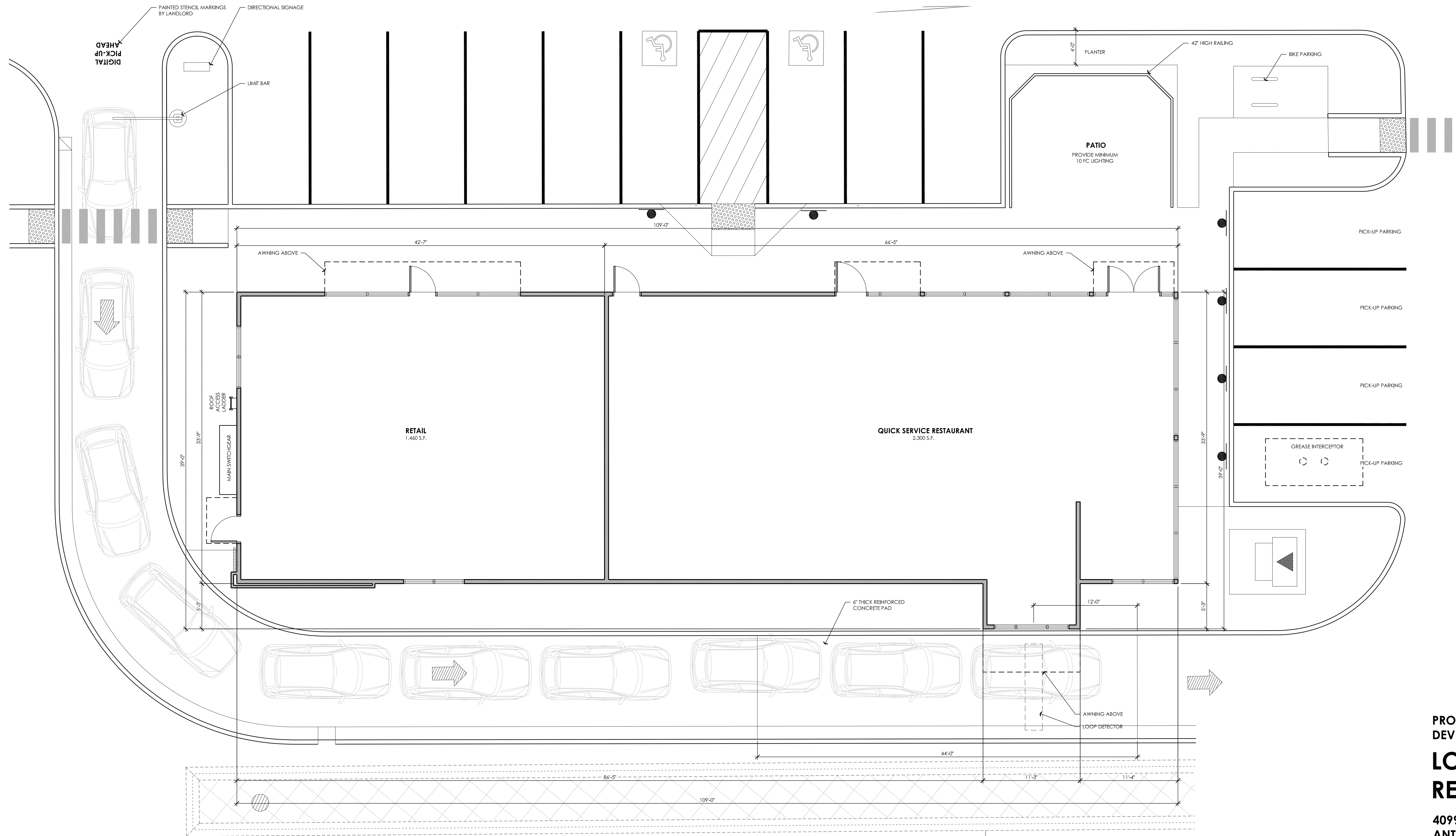
PLANNING ARCHITECTURE



ARCHITECTURE PLUS INC.
4335-B NORTH STAR WAY
MODESTO, CA 95356

A13 ph. 209.577.4661
fx. 209.577.0213

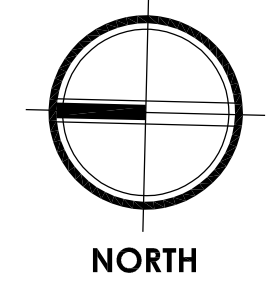
www.apiarc.com



PARCEL 'G' FLOOR PLAN

SCALE: 3/16" = 1'-0"

FLOOR AREAS:	
QSR	- 2,300 S.F.
RETAIL	- 1,460 S.F.
TOTAL	- 3,760 S.F.



**PROPOSED DEVELOPMENT:
LONE TREE
RETAIL**

**4099 LONE TREE WAY
ANTIOCH, CA.**

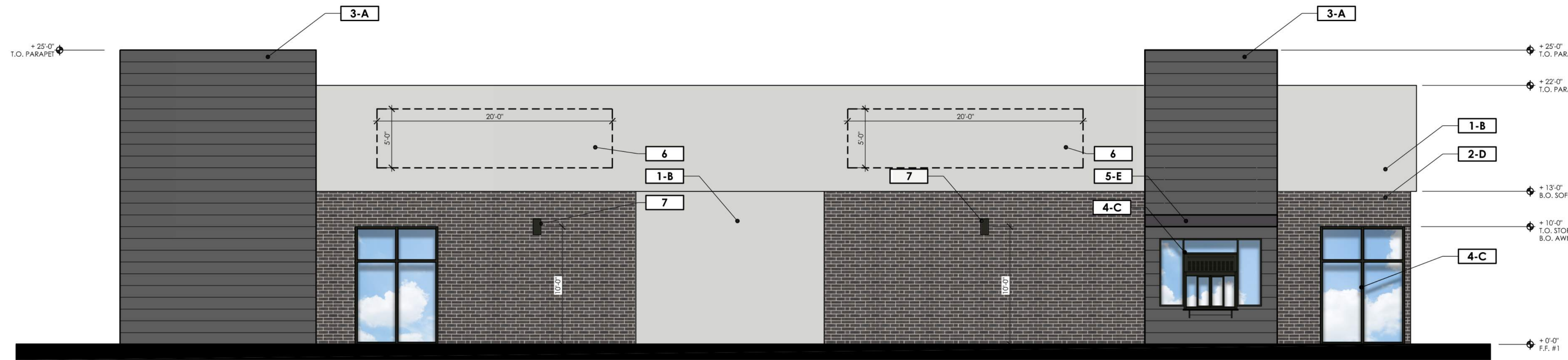
PLANNING
ARCHITECTURE



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fx. 209.577.0213

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PARCEL 'G' WEST ELEVATION

SCALE: 3/16" = 1'-0"

REFERENCE KEY

- 1 EXTERIOR CEMENT PLASTER
- 2 BRICK VENEER
- 3 HORIZONTAL FIBER CEMENT BOARD
- 4 ALUMINUM STOREFRONT SYSTEM
- 5 METAL CANOPY / AWNING
- 6 PROPOSED SIGNAGE
- 7 WALL MOUNTED LIGHT FIXTURE
- 8 ROOF ACCESS LADDER
- 9 HOLLOW METAL DOOR AND FRAME
- 10 ELECTRICAL SWITCHGEAR
- 11 ROOF ACCESS LADDER

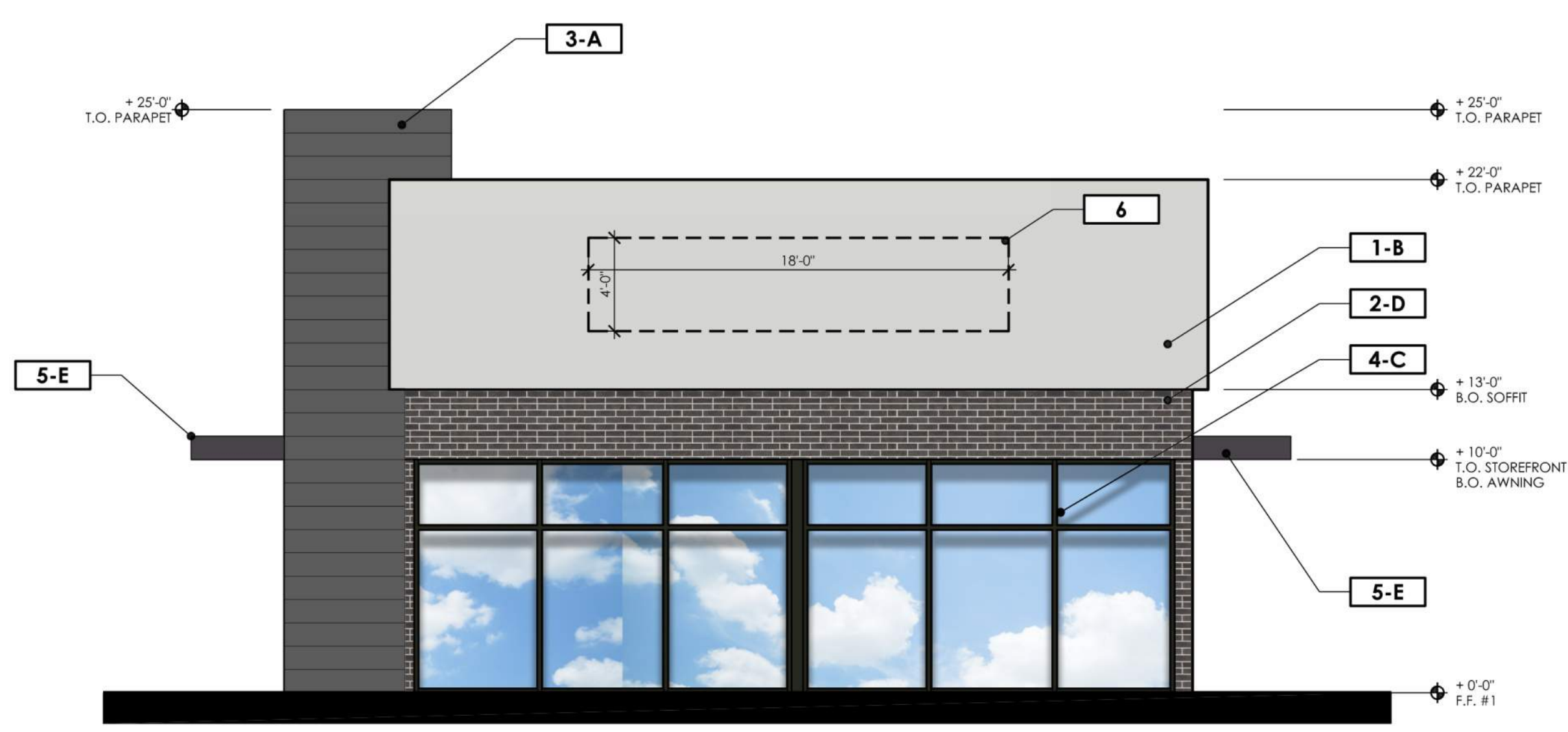
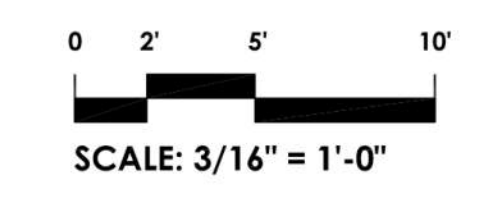
Note:
 Tenant signage to be maximum size allowed per the City of Antioch Municipal Code.
 Signage materials to meet the requirements of the City of Antioch Municipal Code and design guidelines.

FINISH LEGEND

<p>A</p> <p>PAINT: PPG 1001-6 'KNIGHTS ARMOR'</p>	<p>D</p> <p>MANUFACTURER: BELDEN BRICK COLOR: METALLIC BLACK DART-TEX</p>
<p>B</p> <p>PAINT: PPG 1010-2 'FOG'</p>	<p>E</p> <p>PAINT: PPG 1003-7 'BLACK HEARTH'</p>
<p>C</p> <p>MANUFACTURER: OLDCASTLE PROFILE: FG-3000 COLOR: BLACK</p>	

GENERAL NOTES

1. COLORS INDICATED ON THIS DRAWING ARE APPROXIMATE AND WILL VARY DEPENDING ON PRINTER/MONITOR SOURCE. REFER TO COLORS AND MATERIALS BOARD FOR TRUE REPRESENTATION OF ALL PROPOSED FINISHES.



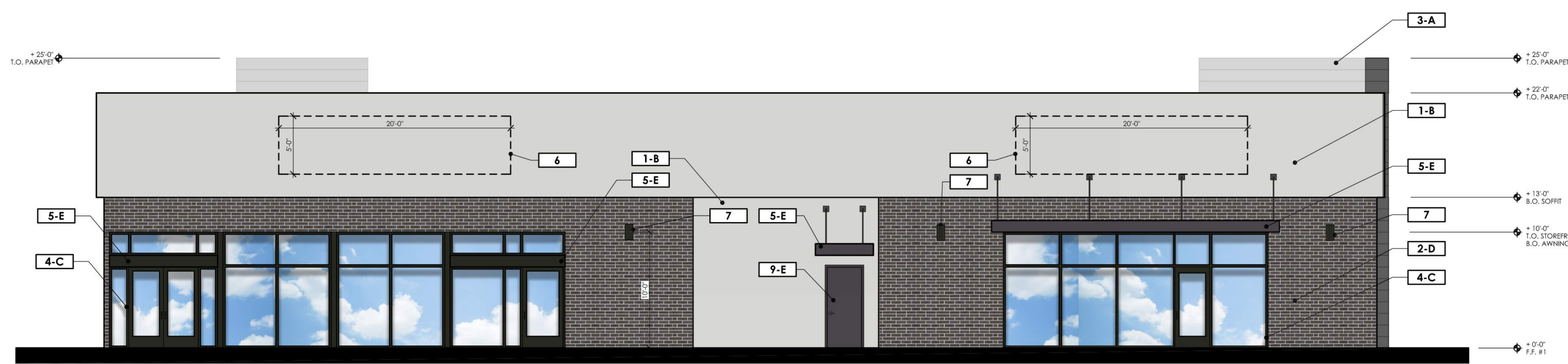
PARCEL 'G' SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



PARCEL 'G' NORTH ELEVATION

SCALE: 3/16" = 1'-0"



PARCEL 'G' EAST ELEVATION

SCALE: 3/16" = 1'-0"

PROPOSED DEVELOPMENT:
LONE TREE RETAIL

4099 LONE TREE WAY
 ANTIOCH, CA.

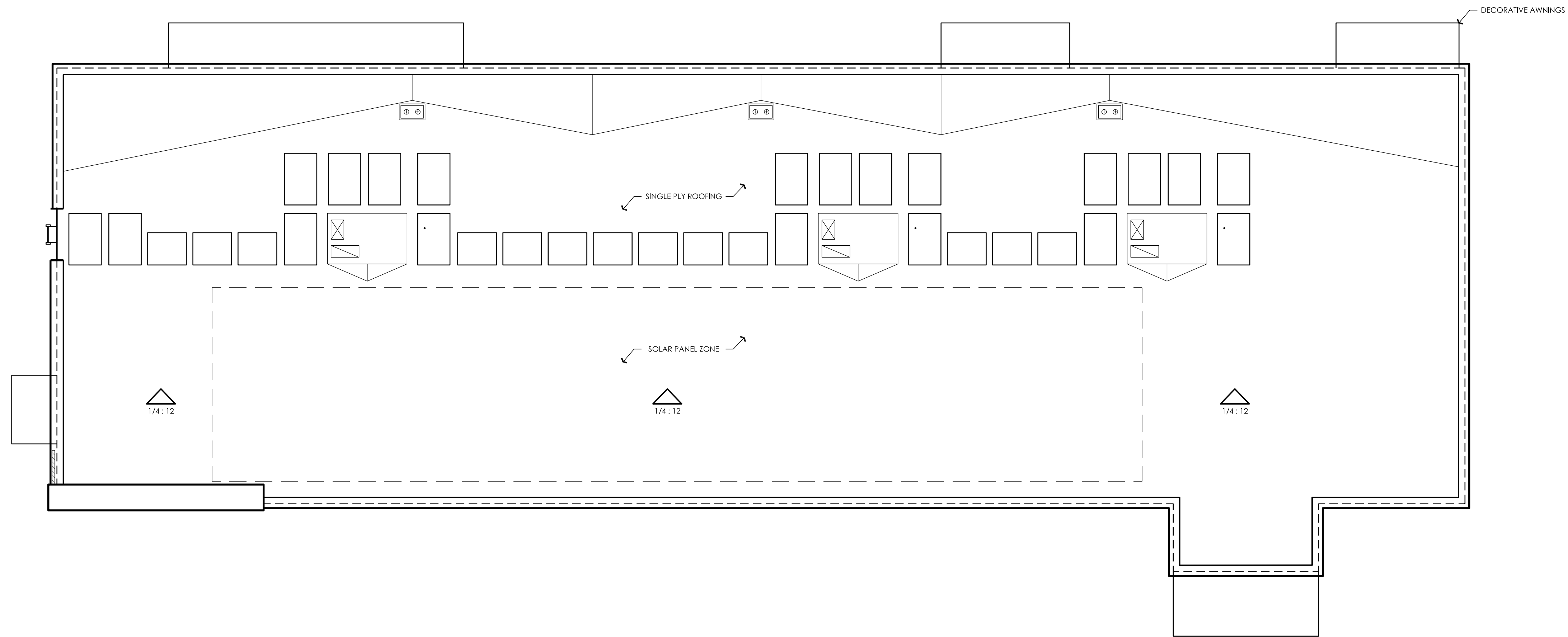
PLANNING ARCHITECTURE



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 MODESTO, CA 95356

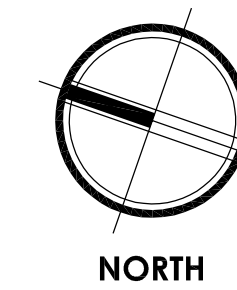
A15 ph. 209.577.4661
 fx. 209.577.0213

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PARCEL 'G' ROOF PLAN

SCALE: 3/16" = 1'-0"



**PROPOSED
DEVELOPMENT:
LONE TREE
RETAIL**

**4099 LONE TREE WAY
ANTIOCH, CA.**

PLANNING
ARCHITECTURE

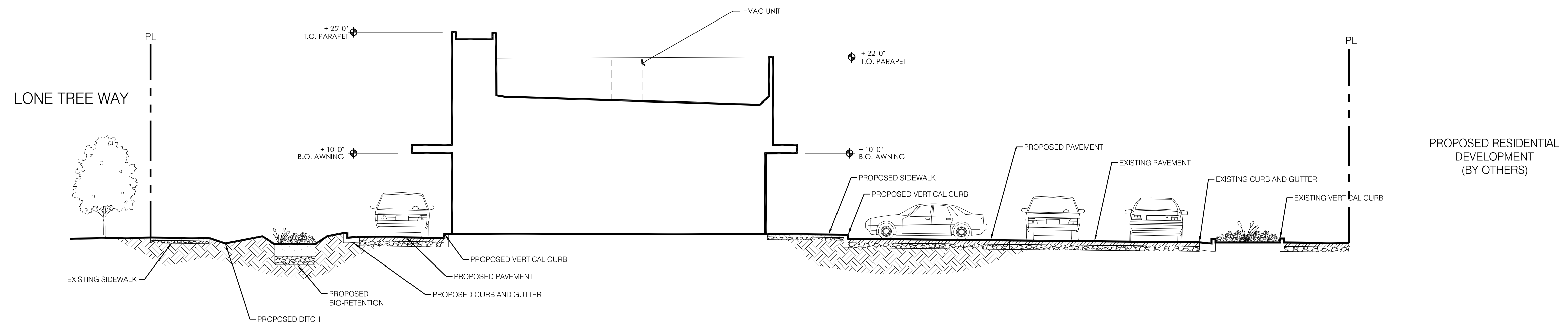


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MODESTO, CA 95356

A16

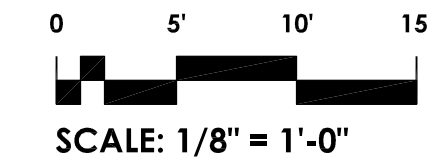
ph. 209.577.4661
fx. 209.577.0213

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PARCEL 'G' SECTION

SCALE: 1/8" = 1'-0"



PROPOSED DEVELOPMENT:

LONE TREE RETAIL

**4099 LONE TREE WAY
ANTIOCH, CA.**

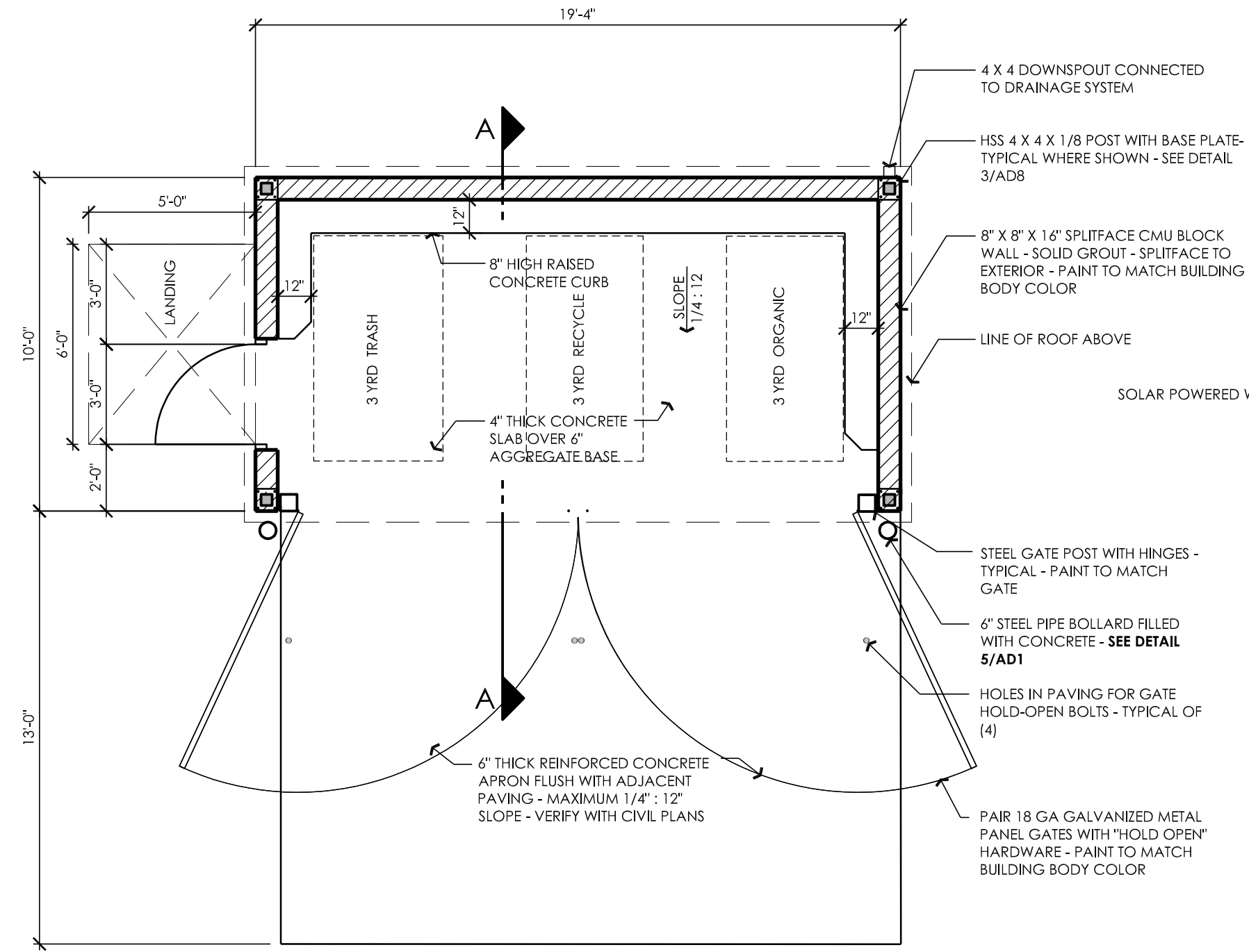
PLANNING
ARCHITECTURE

api

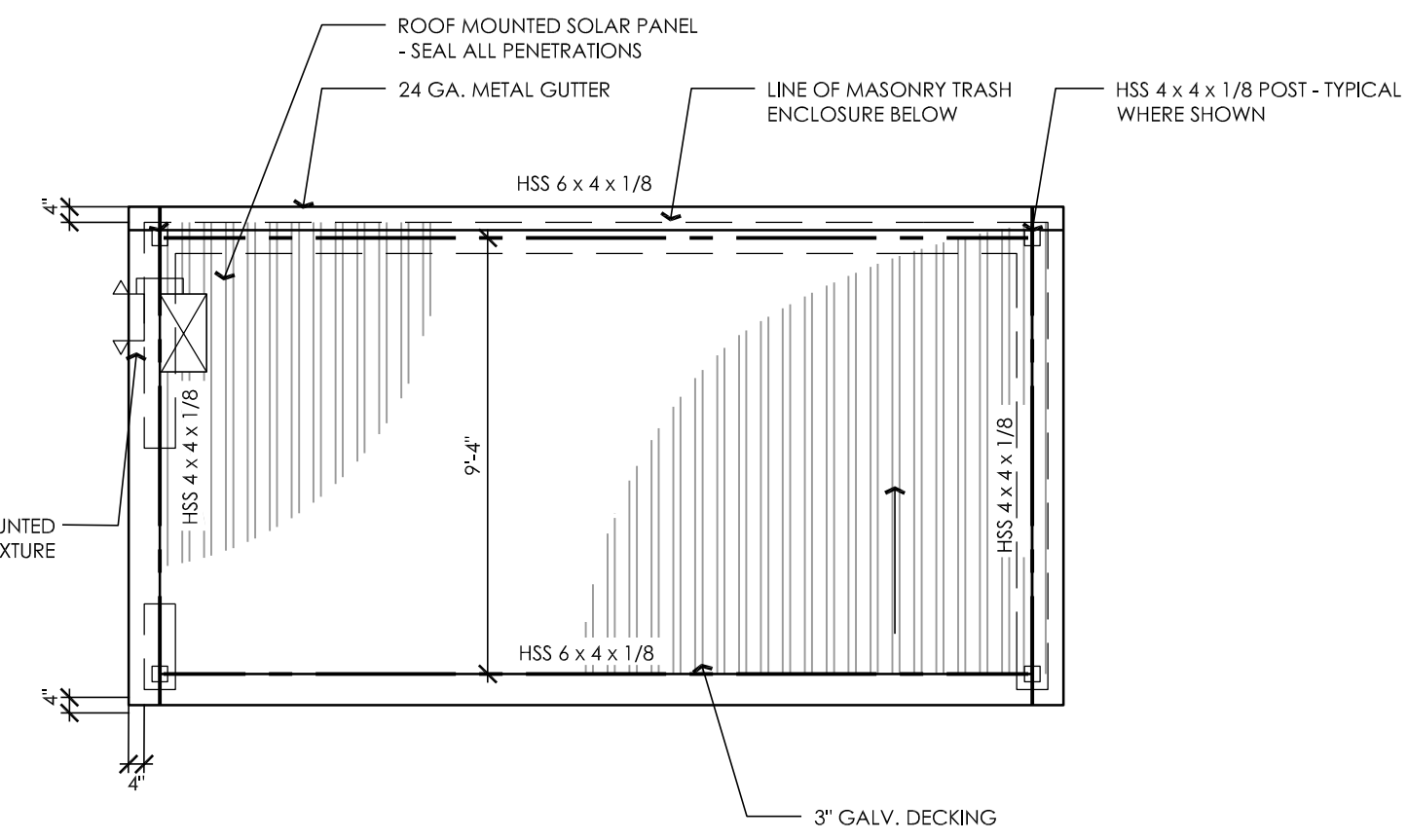
ARCHITECTURE PLUS INC.
4335-B NORTH STAR WAY
MODESTO, CA 95356

A17 ph. 209.577.4661
fx. 209.577.0213

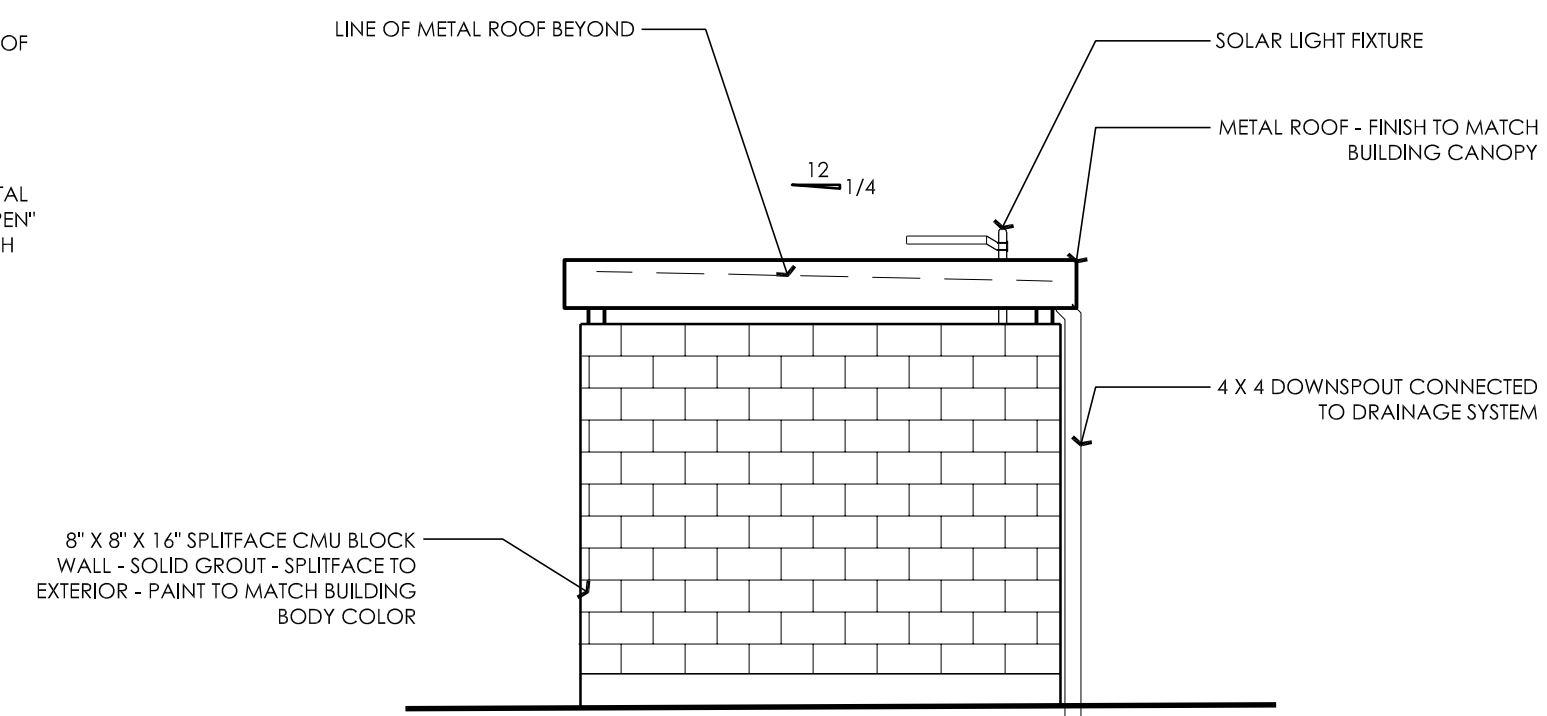
www.apiarc.com



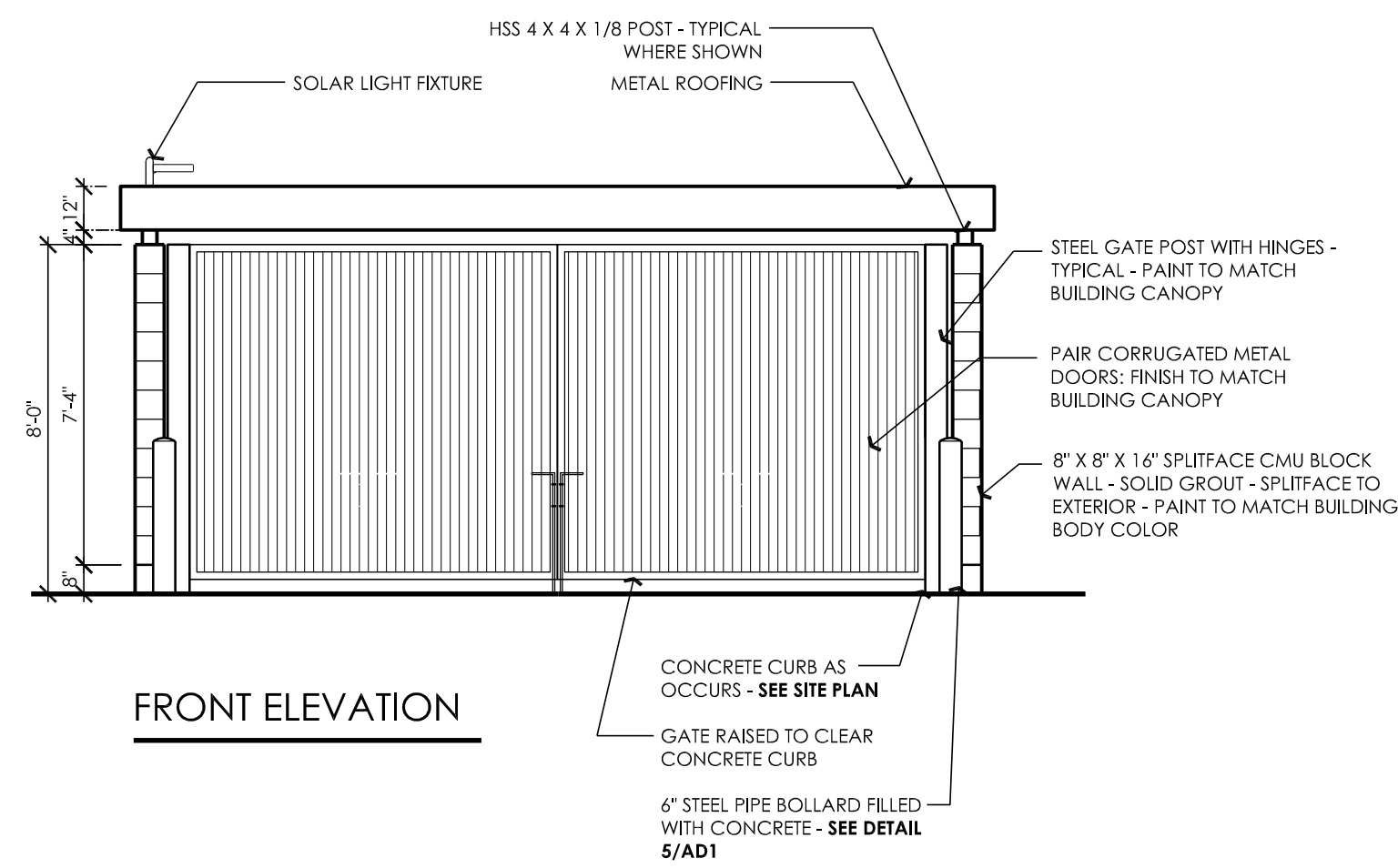
PLAN VIEW



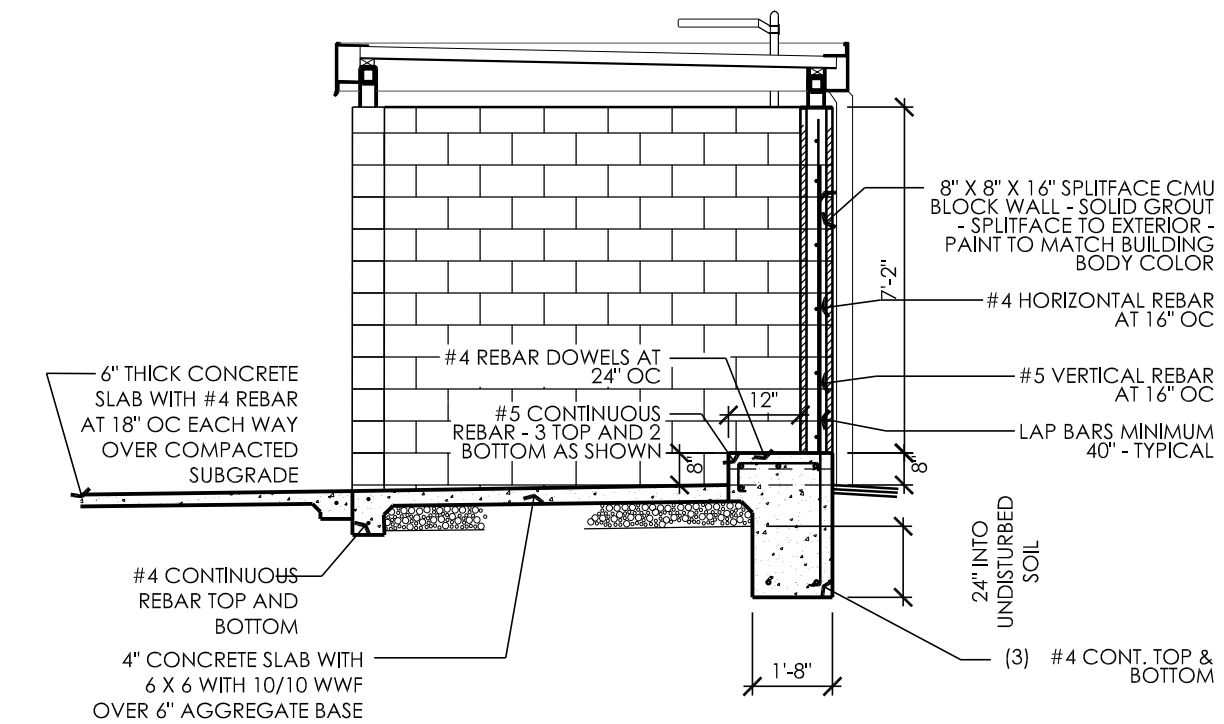
ROOF PLAN



TYPICAL SIDE ELEVATION



FRONT ELEVATION



SECTION A-A

1 TRASH ENCLOSURE
SCALE: 1/4" = 1'-0"

**PROPOSED DEVELOPMENT:
LONE TREE
RETAIL**

4099 LONE TREE WAY
ANTIOCH, CA.

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MODESTO, CA 95356

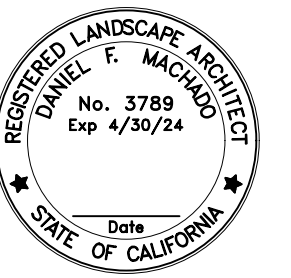
A18 ph. 209.577.4661
fx. 209.577.0213

Rev	Date	Description

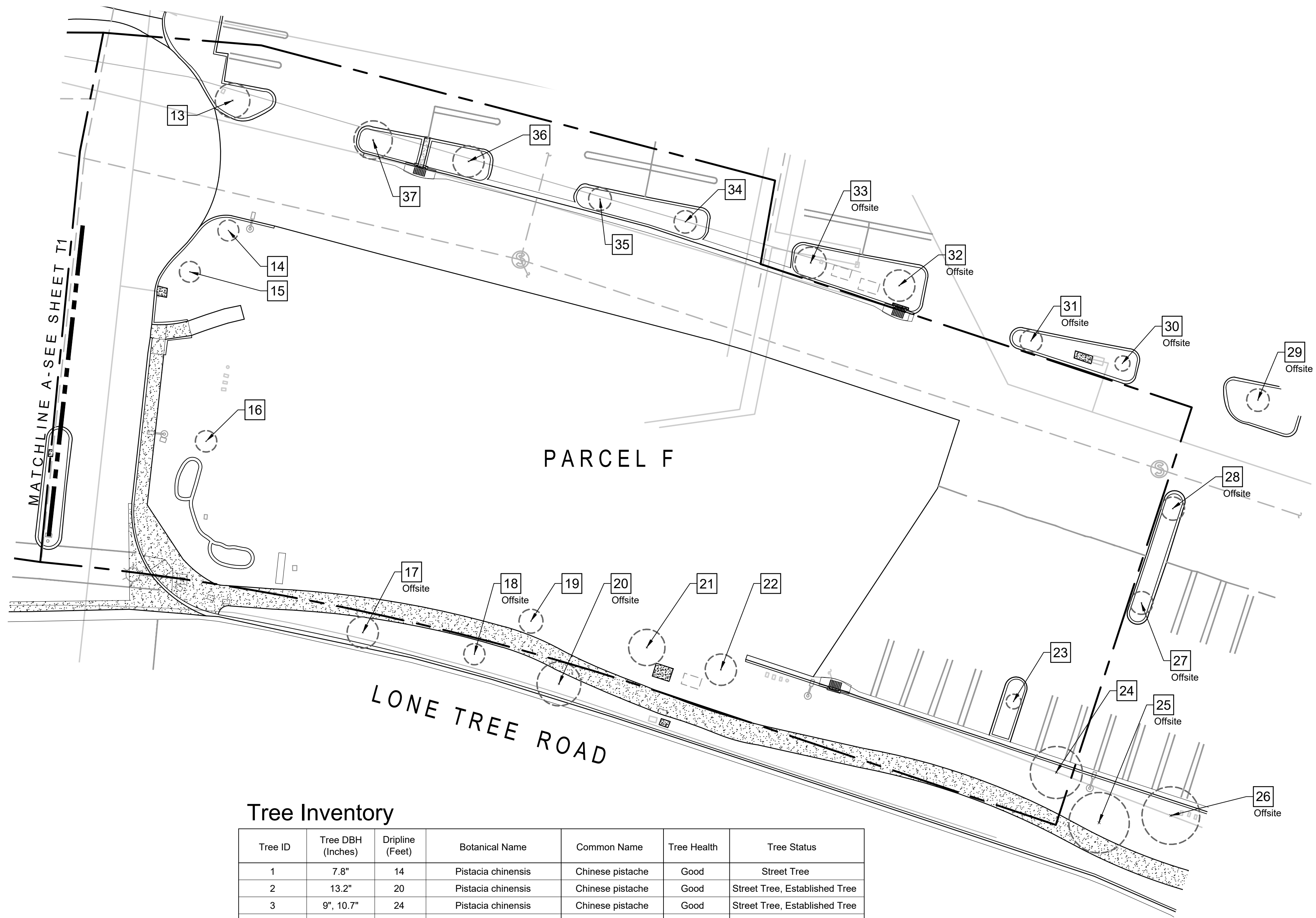
Ps1LA

Ps1 Landscape Architecture
 816 Hampshire Court
 Modesto, CA 95350
 T 209.840.2246
 www.ps1la.com

Landscape Architecture
 Arboriculture



24x36 format, confirm size before scaling



Tree Inventory

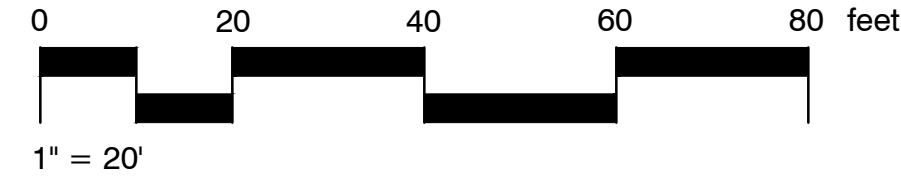
Tree ID	Tree DBH (Inches)	Dripline (Feet)	Botanical Name	Common Name	Tree Health	Tree Status
1	7.8"	14	<i>Pistacia chinensis</i>	Chinese pistache	Good	Street Tree
2	13.2"	20	<i>Pistacia chinensis</i>	Chinese pistache	Good	Street Tree, Established Tree
3	9", 10.7"	24	<i>Pistacia chinensis</i>	Chinese pistache	Good	Street Tree, Established Tree
4	11.1"	25	<i>Pistacia chinensis</i>	Chinese pistache	Good	Street Tree, Established Tree
5	7.9"	16	<i>Pistacia chinensis</i>	Chinese pistache	Good	Street Tree
6	8.4"	18	<i>Pistacia chinensis</i>	Chinese pistache	Good	Street Tree
7	8.6"	24	<i>Pistacia chinensis</i>	Chinese pistache	Good	Street Tree
8	8.2"	25	<i>Pistacia chinensis</i>	Chinese pistache	Good	Street Tree
9	10.0"	30	<i>Pistacia chinensis</i>	Chinese pistache	Good	Street Tree, Established Tree
10	6.8"	6	<i>Arecastrum romanzoffianum</i>	Queen Palm	Good	No Status
11	9.5"	8	<i>Arecastrum romanzoffianum</i>	Queen Palm	Good	No Status
12	9.0"	12	<i>Arecastrum romanzoffianum</i>	Queen Palm	Good	No Status
13	11.0"	12	<i>Arecastrum romanzoffianum</i>	Queen Palm	Good	No Status
14	6.0"	6	<i>Arecastrum romanzoffianum</i>	Queen Palm	Good	No Status
15	7.6"	6	<i>Arecastrum romanzoffianum</i>	Queen Palm	Good	No Status
16	7.4"	7	<i>Arecastrum romanzoffianum</i>	Queen Palm	Good	No Status
17	8.0"	12	<i>Pistacia chinensis</i>	Chinese pistache	Good	Street Tree
18	7.5"	12	<i>Pistacia chinensis</i>	Chinese pistache	Good	Street Tree
19	6.3"	18	<i>Quercus palustris</i>	Pin Oak	Good	No Status
20	11.8"	30	<i>Pistacia chinensis</i>	Chinese pistache	Good	Street Tree, Established Tree
21	11"	23	<i>Sequoia sempervirens</i>	Coast Redwood	Good	Established
22	7.3"	15	<i>Sequoia sempervirens</i>	Coast Redwood	Good	No Status
23	2.0"	8	<i>Celtis occidentalis</i>	Hackberry	Good	No Status
24	14.5"	28	<i>Sequoia sempervirens</i>	Coast Redwood	Good	Established
25	18"	25	<i>Sequoia sempervirens</i>	Coast Redwood	Good	Established
26	14.5"	30	<i>Sequoia sempervirens</i>	Coast Redwood	Good	Established
27	6"	19	<i>Celtis occidentalis</i>	Hackberry	Good	No Status
28	6.5"	28	<i>Celtis occidentalis</i>	Hackberry	Good	No Status
29	6.5"	25	<i>Celtis occidentalis</i>	Hackberry	Good	No Status
30	5.5"	8	<i>Koelreuteria bipinnata</i>	Goldenrain Tree	Good	No Status
31	4.5"	9	<i>Koelreuteria bipinnata</i>	Goldenrain Tree	Good	No Status
32	8"	21	<i>Koelreuteria bipinnata</i>	Goldenrain Tree	Good	No Status
33	9.5"	22	<i>Koelreuteria bipinnata</i>	Goldenrain Tree	Good	No Status
34	5.5"	18	<i>Koelreuteria bipinnata</i>	Goldenrain Tree	Good	No Status
35	7.5"	16	<i>Koelreuteria bipinnata</i>	Goldenrain Tree	Good	No Status
36	9"	22	<i>Koelreuteria bipinnata</i>	Goldenrain Tree	Good	No Status
37	9.5"	23	<i>Koelreuteria bipinnata</i>	Goldenrain Tree	Good	No Status

LANDSCAPE PLANS
LONE TREE RETAIL
ARBORIST REPORT
 Antioch, CA

Client:
 API, Inc.
 433-B North Star Way
 Modesto, CA 95356
 209.577.4661
 Copyright Ps1 Landscape Architecture 2024

TREE INVENTORY

Designed: DFM
 Drawn: DFM
 Checked:
 Scale: 1"=20'
 Date: February 27, 2024
 Job: 374-24

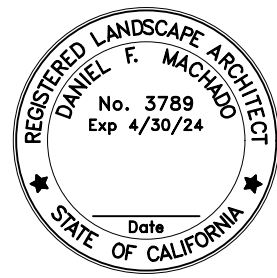


Rev	Date	Description

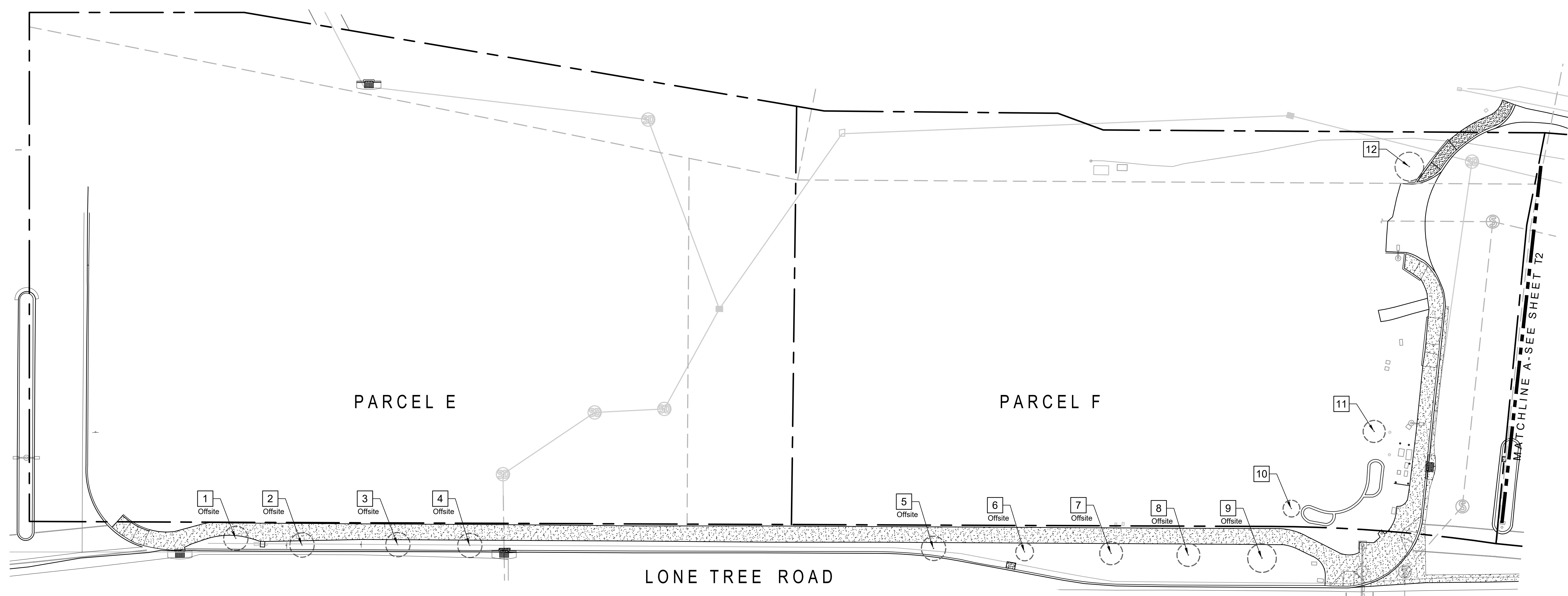


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 816 Hampshire Court
 Modesto, CA 95350
 T 209.840.2246
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Landscape Architecture
 Arboriculture



24x36 format, confirm size before scaling



Arborist Report

All site trees were inventoried, numbered and tabulated as shown on these plans. Existing trees regardless of their defined status were inventoried including those not on the subject parcels but which may be affected by the proposed development. Trees that are off-site are indicated on the plans.

The City of Antioch classifies trees in several definitions of status including *Restricted Trees, Indigenous Trees, Landmark Trees, Protected Trees Established Trees, Street Trees and Mature Trees.*

During the assessment and Tree Inventory it was found that there are none of the following trees.

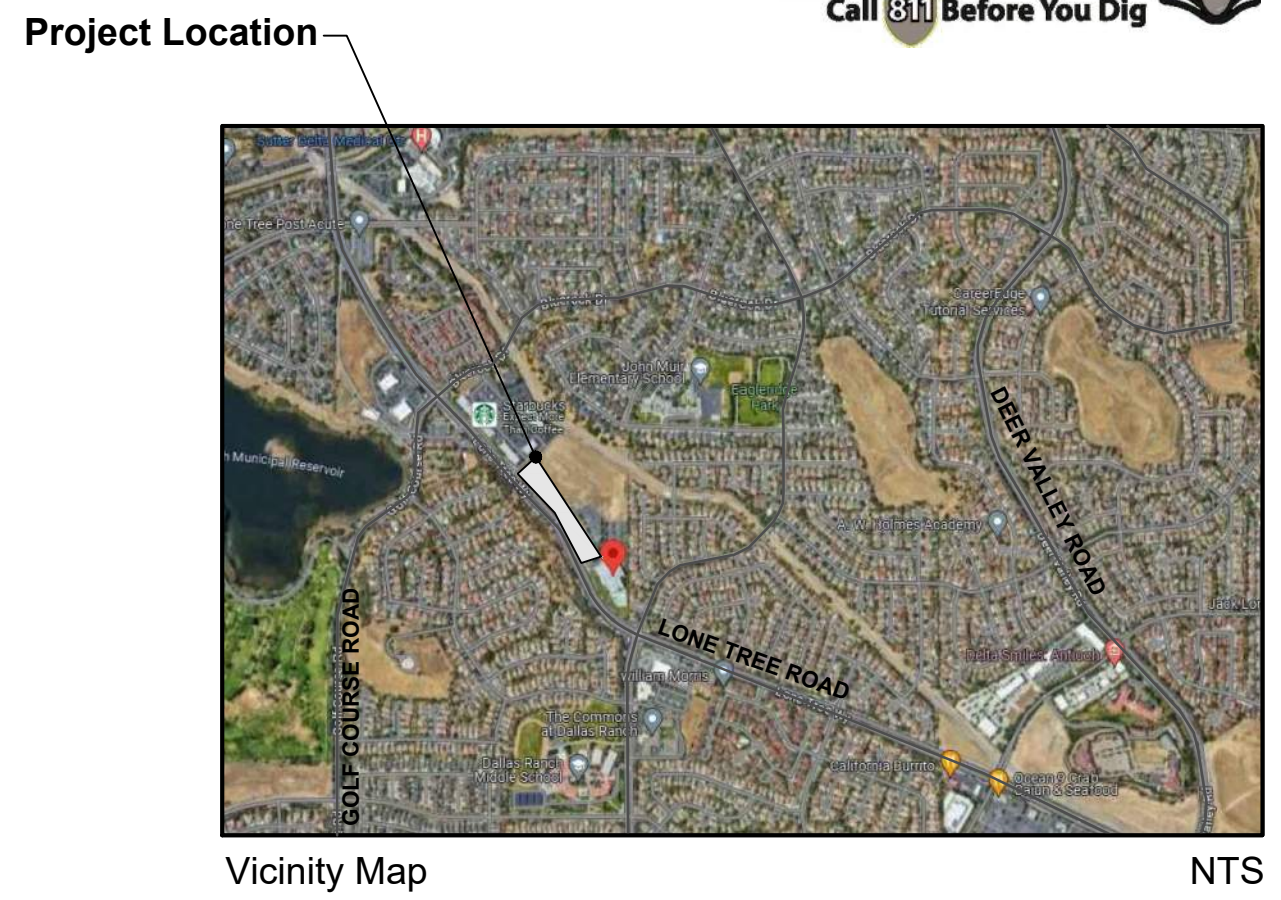
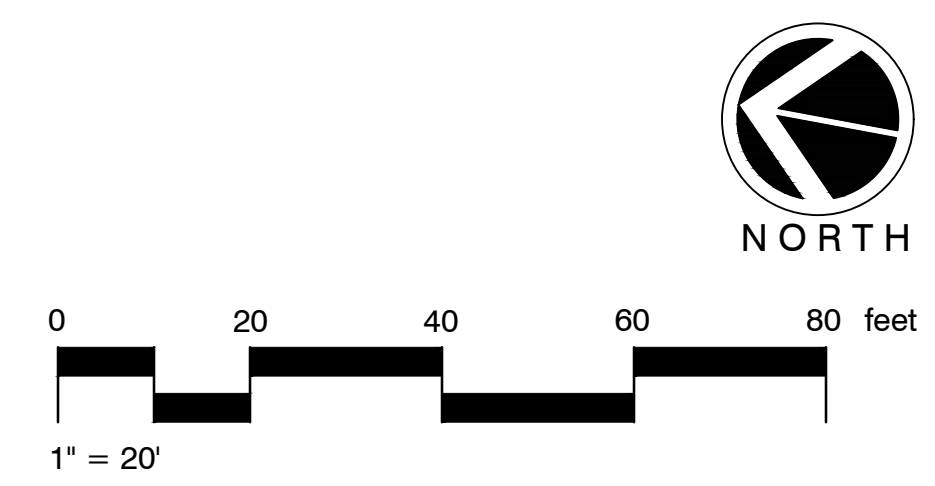
- There are no:
- Restricted Trees
 - Indigenous Trees
 - Landmark Trees
 - Mature Trees

While Street Trees carry a Protected status none are threatened by the proposed development. Street Trees and Established Trees are noted in the Tree Inventory table. Established Trees require a permit to remove under the provisions of the City of Antioch municipal code. Trees with no protections may be removed without permit.

Prepared by Daniel F. Machado, ISA Certified Arborist #3078-A

Tree Inventory

Tree ID	Tree DBH (Inches)	Dripline (Feet)	Botanical Name	Common Name	Tree Health	Tree Status
1	7.8"	14	Pistacia chinensis	Chinese pistache	Good	Street Tree
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4	11.1"	25	Pistacia chinensis	Chinese pistache	Good	Street Tree, Established Tree
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12	9.0"	12	Arecastrum romanzoffianum	Queen Palm	Good	No Status
13	11.0"	12	Arecastrum romanzoffianum	Queen Palm	Good	Established Tree
14	6.0"	6	Arecastrum romanzoffianum	Queen Palm	Good	No Status
15	7.6"	6	Arecastrum romanzoffianum	Queen Palm	Good	No Status
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33	9.5"	22	Koelreuteria bipinnata	Goldenrain Tree	Good	No Status
34	5.5"	18	Koelreuteria bipinnata	Goldenrain Tree	Good	No Status
35	7.5"	16	Koelreuteria bipinnata	Goldenrain Tree	Good	No Status
36	9"	22	Koelreuteria bipinnata	Goldenrain Tree	Good	No Status
37	9.5"	23	Koelreuteria bipinnata	Goldenrain Tree	Good	No Status



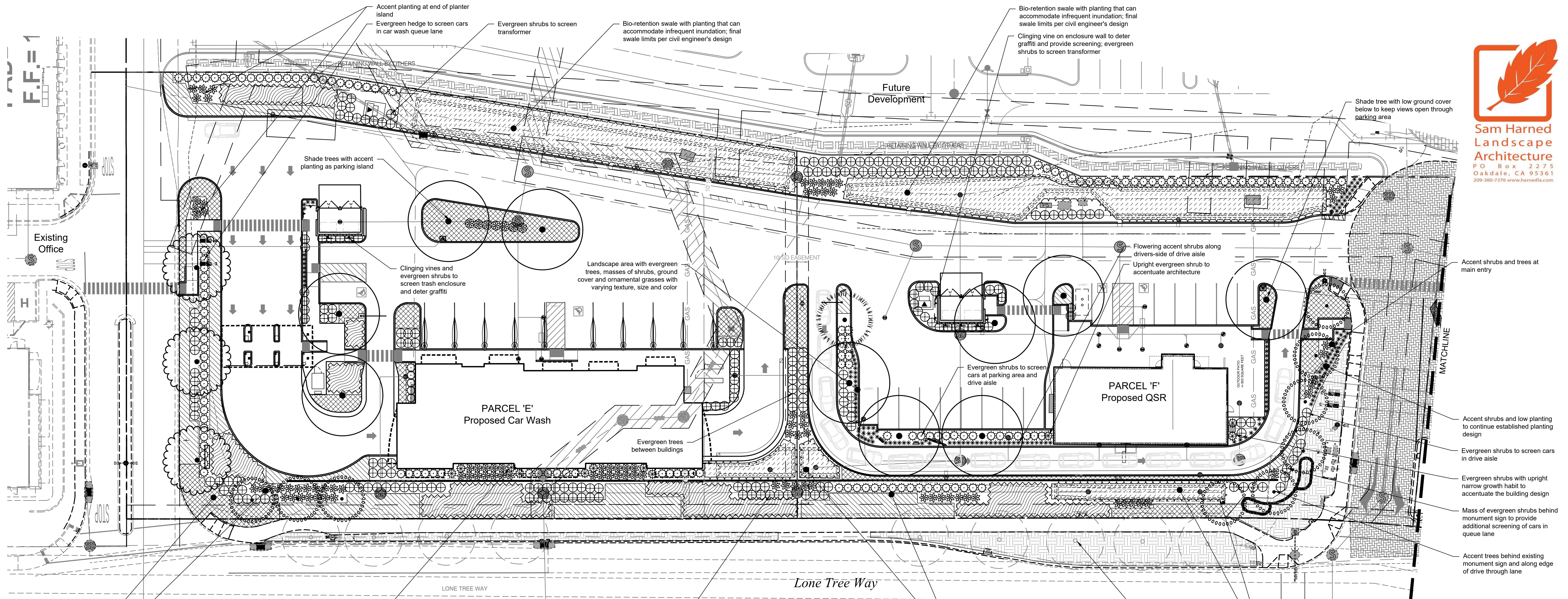
Vicinity Map NTS

LANDSCAPE PLANS
LONE TREE RETAIL
ARBORIST REPORT
 Antioch, CA

Client:
 API, Inc.
 433-B North Star Way
 Modesto, CA 95356
 209.577.4661

TREE INVENTORY

Designed:	DFM
Drawn:	DFM
Checked:	
Scale:	1"=20'
Date:	February 27, 2024
Job:	374-24



Accent planting at main entry corner

Masses of shrubs, grasses and ground covers with varying textures, color and sizes to provide an aesthetic and coordinated design at the landscape areas throughout the site

Upright evergreen shrubs to accentuate architecture, with masses of accent shrubs between

Evergreen shrubs to screen cars in drive aisles

Evergreen trees between buildings

Shade trees with accent planting as parking island

Evergreen hedge to screen cars in car wash queue lane

Evergreen shrubs to screen transformer

Bio-retention swale with planting that can accommodate infrequent inundation; final swale limits per civil engineer's design

Shade tree with low ground cover below to keep views open through parking area

Flowering accent shrubs along drivers-side of drive aisle

Upright evergreen shrub to accentuate architecture

Evergreen shrubs to screen cars at parking area and drive aisle

Accent shrubs and trees at main entry

Accent shrubs and low planting to continue established planting design

Evergreen shrubs to screen cars in drive aisle

Evergreen shrubs with upright narrow growth habit to accentuate the building design

Mass of evergreen shrubs behind monument sign to provide additional screening of cars in queue lane

Accent trees behind existing monument sign and along edge of drive through lane

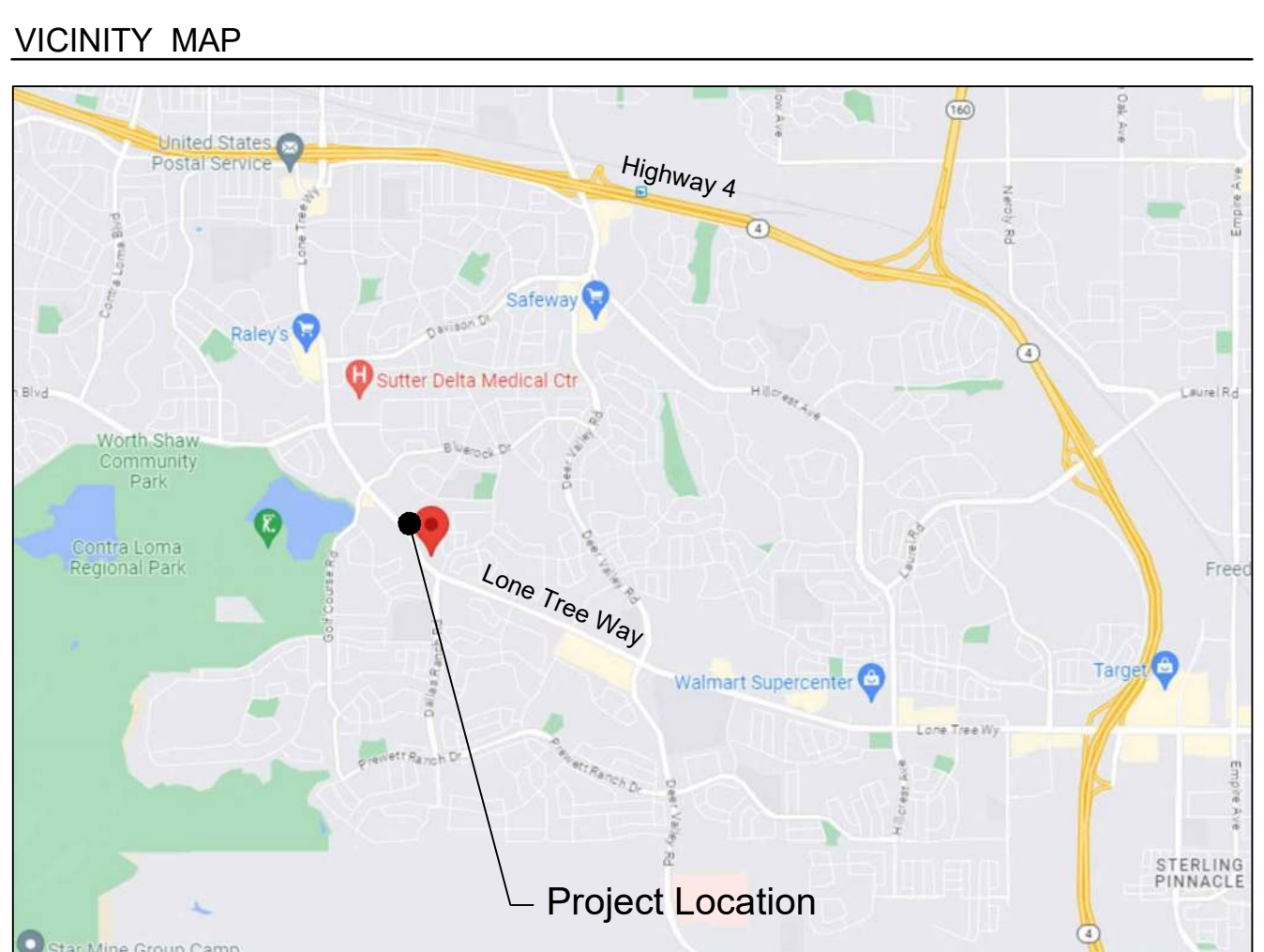
Existing tree, to remain, typ.

Accent tree to accentuate project entry and monument signage

Bio-retention swale with planting that can accommodate infrequent inundation; final swale limits per civil engineer's design

Trees excluded from frontage to avoid root intrusion into storm drain system

Bio-retention swale with planting that can accommodate infrequent inundation; final swale limits per civil engineer's design



WELO WORKSHEET - PARCEL 'E'

Reference Evapotranspiration	45.3 in/yr	ETAF _{max}	Maximum Allowed ETAF	0.45				
Hydro-zone (see desc. below)	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)	
Regular Landscape Areas ("RLA") - See Hydrozone Descriptions for Referenced Numbers								
Shrub	0.50	Drip	0.81	0.62	1,974 sf	1,218.52	34,223 gals	
Shrub	0.20	Drip	0.81	0.25	8,528 sf	2,105.68	59,140 gals	
Bioswale	0.30	Drip	0.81	0.37	5,692 sf	2,108.15	59,209 gals	
				Sub-totals	16,194.00	5,432.35	152,573 gals	
Special Landscape Areas ("SLA")								
SLA1			1.00	0.00	0 sf	0.00	0 gals	
				Sub-totals	0 sf	0.00	0 gals	
					Total Landscape Area (RLA+SLA)	16,194 sf	5,432.35	
							ETWU Total	152,573 gals
							Maximum Allowed Water Allowance (MAWA)	204,671 gals
MAXIMUM ALLOWABLE WATER CALCULATION ("MAWA")								
MAWA = (ET _o) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]								
204,671 gal/yr		45.3 in/yr		0.62	0.45	16,194 sf	0.55	
ETAF CALCULATIONS								
Regular Landscape Area (RLA) ETAF			Max Allowed ETAF					
Total ETAF x RLA			5432.35					
Divided by Total RLA			16,194 sf		If Average ETAF is less than Max. Allowed ETAF the Project complies with WELO			
Average ETAF (RLA)			0.34		0.45			

WELO WORKSHEET - PARCEL 'F'

Reference Evapotranspiration	45.3 in/yr	ETAF _{max}	Maximum Allowed ETAF	0.45				
Hydro-zone (see desc. below)	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)	
Regular Landscape Areas ("RLA") - See Hydrozone Descriptions for Referenced Numbers								
Shrub	0.50	Drip	0.81	0.62	2,274 sf	1,403.70	39,424 gals	
Shrub	0.20	Drip	0.81	0.25	4,204 sf	1,038.02	29,154 gals	
Bioswale	0.30	Drip	0.81	0.37	6,058 sf	2,243.70	63,017 gals	
				Sub-totals	12,536.00	4,685.43	131,595 gals	
Special Landscape Areas ("SLA")								
SLA1			1.00	0.00	0 sf	0.00	0 gals	
				Sub-totals	0 sf	0.00	0 gals	
					Total Landscape Area (RLA+SLA)	12,536 sf	4,685.43	
							ETWU Total	131,595 gals
							Maximum Allowed Water Allowance (MAWA)	158,439 gals
MAXIMUM ALLOWABLE WATER CALCULATION ("MAWA")								
MAWA = (ET _o) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]								
158,439 gal/yr		45.3 in/yr		0.62	0.45	12,536 sf	0.55	
ETAF CALCULATIONS								
Regular Landscape Area (RLA) ETAF			Max Allowed ETAF					
Total ETAF x RLA			4685.43					
Divided by Total RLA			12,536 sf		If Average ETAF is less than Max. Allowed ETAF the Project complies with WELO			
Average ETAF (RLA)			0.37		0.45			

WELO COMPLIANCE

This project has been designed to conform with the State's Model Water Efficient Landscape Ordinance (MWELO).

IRRIGATION DESIGN
The irrigation on the site will use drip irrigation, will meet the City's requirements, and will comply with the requirements of WELO. Equipment will include dedicated irrigation meter, smart controller, weather sensor, and efficient irrigation emitters, nozzles, and other equipment.

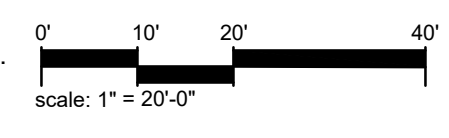
PLANTING DESIGN
The landscape design uses water-wise plant species suitable for this region and that are low maintenance and durable, uses trees to shade paved areas, and plants have been grouped into hydro-zones. References used for the landscape design include published information from the local jurisdiction, Sunset Western Garden Book and WUCOLS.

LANDSCAPE AREA CALCULATIONS

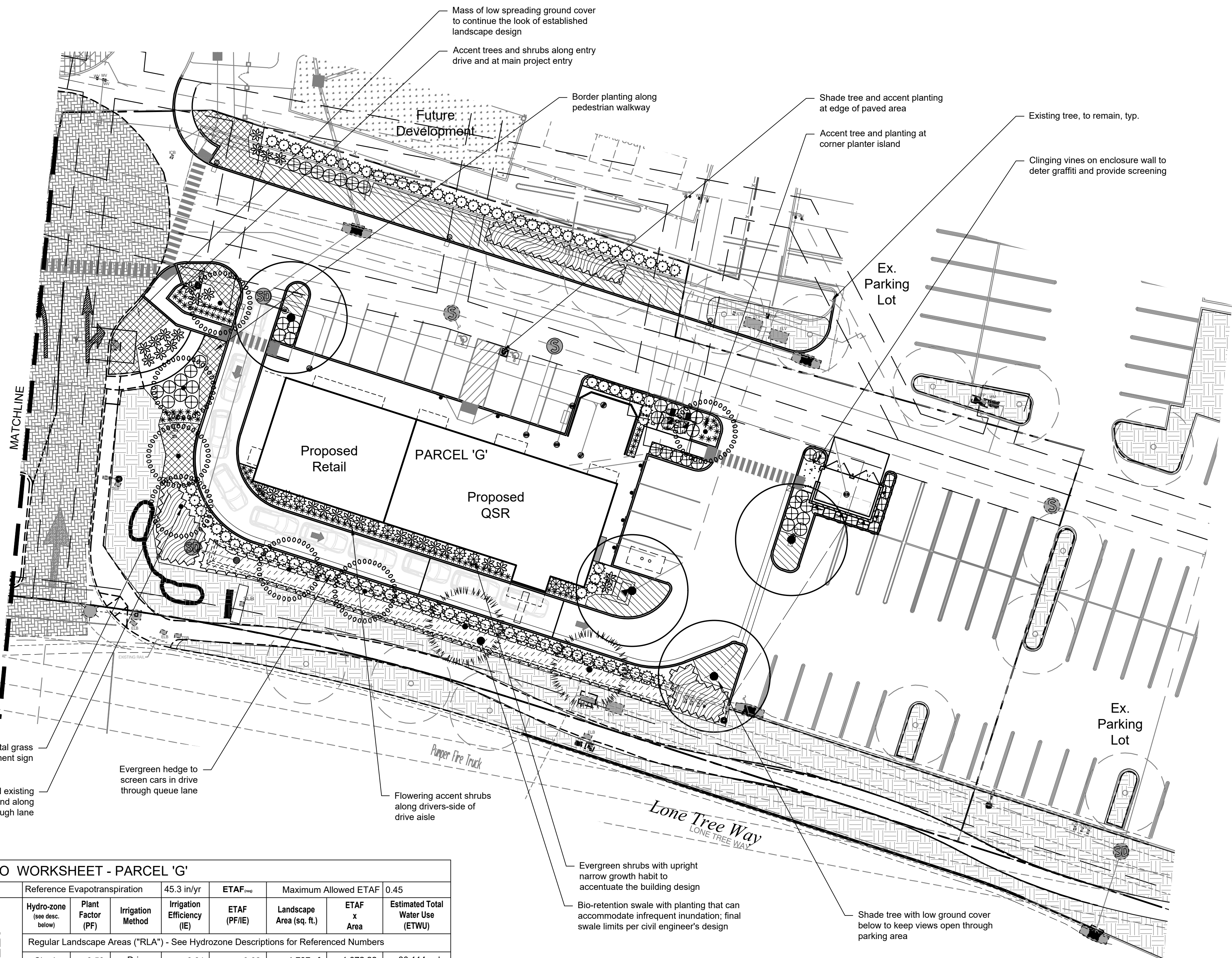
PARCEL 'E'	Total Site Area:	52,583 sf.
	Landscape Area:	16,194 sf.
	Percentage of Total Site as Landscape:	31 %
PARCEL 'F'	Total Site Area:	41,775 sf.
	Landscape Area:	16,685 sf.
	New landscape:	12,536 sf.
	Existing to remain:	1,149 sf.
	Percentage of Total Site as Landscape:	33 %

Existing landscape, to remain

NOTES:
1. See Plant Schedule on Sheet L2.



Preliminary Landscape Plan - Sheet L1



WELO WORKSHEET - PARCEL 'G'

Hydro-zone (see disc. below)	Plant Factor (PF)	Irrigation Method	45.3 in/yr Irrigation Efficiency (IE)	ETAF _{min} (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)	Reference Evapotranspiration		
								45.3 in/yr	ETAF _{min}	
							Maximum Allowed ETAF	0.45		
Regular Landscape Areas ("RLA") - See Hydrozone Descriptions for Referenced Numbers										
Shrub	0.50	Drip	0.81	0.62	1,737 sf	1,072.22	30,114 gals			
Shrub	0.20	Drip	0.81	0.25	4,591 sf	1,133.58	31,838 gals			
Bioswale	0.30	Drip	0.81	0.37	1,685 sf	624.07	17,528 gals			
							Sub-totals	8,013.00	2,829.88	79,480 gals
Special Landscape Areas ("SLA")										
SLA1				1.00	0 sf	0.00	0 gals			
							Sub-totals	0 sf	0.00	0 gals
					Total Landscape Area (RLA+SLA)	8,013 sf	2,829.88			
							ETWU Total	79,480 gals		
							Maximum Allowed Water Allowance (MAWA)	101,274 gals		
MAXIMUM ALLOWABLE WATER CALCULATION ("MAWA")										
MAWA	=	(ET _o)	(0.62)	[(ETAF x LA)	+ ((1-ETAF) x SLA)]		
101,274 gal/yr		45.3 in/yr	0.62	0.45	8,013 sf	0.55	0 sf			
ETAF CALCULATIONS										
Regular Landscape Area (RLA)										
ETAF										
Total ETAF x RLA			2829.88							
Divided by Total RLA			8,013 sf							
Average ETAF (RLA)			0.35	0.45						
							If Average ETAF is less than Max. Allowed ETAF the Project complies with WELO			

LANDSCAPE AREA CALCULATIONS

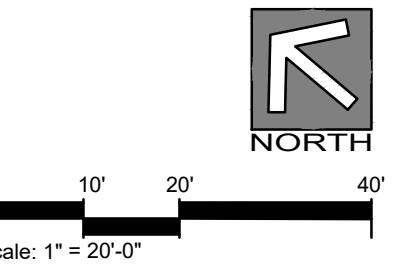
PARCEL 'G'	
Total Site Area:	45,823 sf.
Landscape Area:	11,734 sf.
New landscape:	8,013 sf.
Existing to remain (on-site):	3,721 sf.
Percentage of Total Site as Landscape:	26 %

ROOT BARRIER

Provide 24" deep linear root barrier at all trees located within 5'-0" of hardscape. Provide 12 lf of barrier at each required location, center on tree root ball. Root barrier shall be installed in linear fashion along the edge of hardscape; circular placement around the root ball will not be accepted and will be replaced at contractor's expense. Install per manufacturer's recommendations.

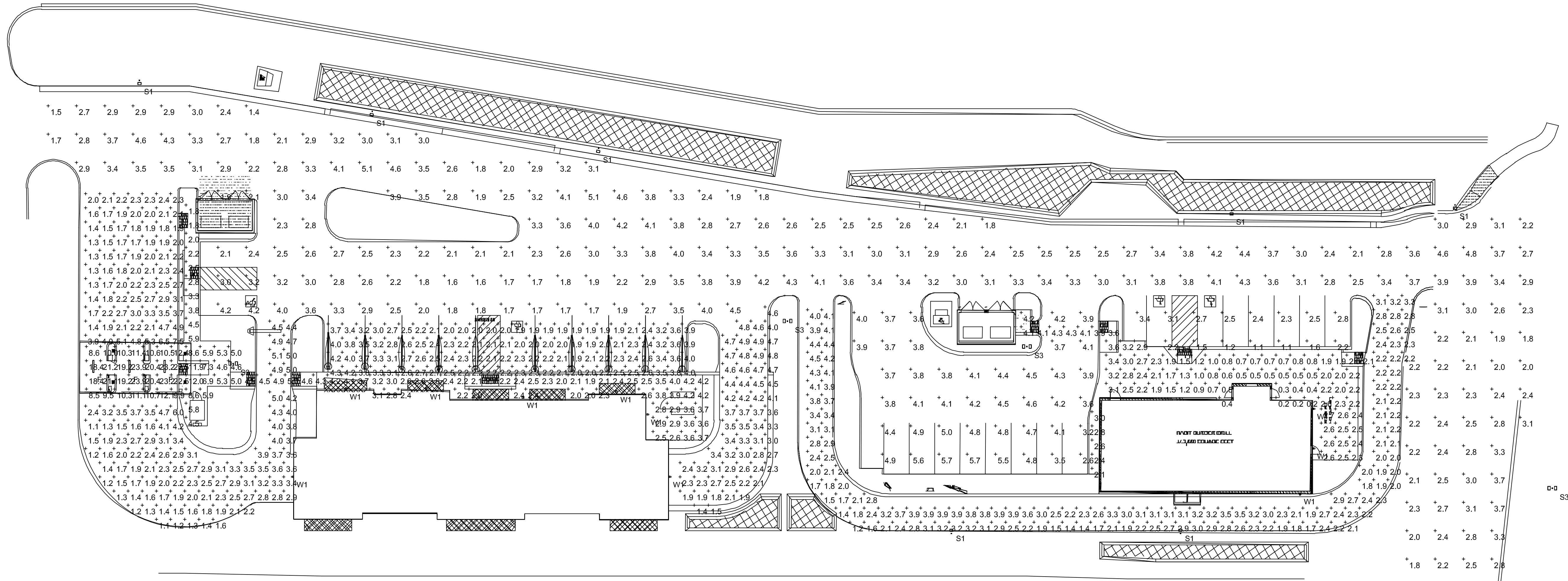
PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING	WUCOLS	
TREES								
(Symbol)		PARKING LOT SHADE TREE		14				
	ACE AUT	Acer rubrum 'Autumn Flame'	Autumn Flame Red Maple		15 gal.	30'	Moderate	
	PIS KEI	Pistacia chinensis 'Keith Davey'	Keith Davey Chinese Pistache		15 gal.	35'	Low	
	QUE SHU	Quercus shumardii	Shumard Oak		15 gal.	40'	Moderate	
	ULM ALL	Ulmus parvifolia 'Allee' TM	Allee Lacebark Elm		15 gal.	40'	Moderate	
(Symbol)		EVERGREEN/SCREEN TREE		3				
	BRA PPL	Brachyhiton populneus	Kurrajong		24" box	25'	Low	
	LAU XSA	Laurus x 'Saratoga'	Saratoga Hybrid Laurel		24" box	20'	Low	
(Symbol)		ACCENT TREE		16				
	ACE PAL	Acer palmatum	Japanese Maple		15 gal.	18'	Moderate	
	CER OCC	Cercis occidentalis	Western Redbud		15 gal.	20'	Low	
	LAG IND	Lagerstroemia indica	Crape Myrtle		15 gal.	20'	Low	
	PRU VES	Prunus cerasifera 'Krauter Vesuvius'	Krauter Vesuvius Purple-leaf Plum		15 gal.	20'	Moderate	
(Symbol)		STREET TREE		3				
	GIN AUT	Ginkgo biloba 'Autumn Gold' TM	Autumn Gold Maidenhair Tree		15 gal.	30'	Moderate	
	PLA ACE	Platanus x acerifolia	London Plane Tree		15 gal.	50'	Moderate	
	QUE SUB	Quercus suber	Cork Oak		15 gal.	50'	Low	
	ZEL VIL	Zelkova serrata 'Village Green'	Village Green Sawleaf Zelkova		15 gal.	50'	Moderate	
SHRUBS								
(Symbol)		UPRIGHT EVERGREEN		19				
	Cup tin	Cupressus sempervirens 'Monshel' TM	Tiny Tower Italian Cypress		15 gal.	2'	Low	
	Jun sky	Juniperus virginiana 'Skyrocket'	Skyrocket Eastern Redcedar		15 gal.	3'	Low	
	Thu sma	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae		15 gal.	4'	Moderate	
(Symbol)		EVERGREEN SHRUBS / HEDGE		242				
	Lig tex	Ligustrum japonicum 'Texanum'	Texanum Privet		5 gal.	4'	Low	
	Ole lit	Olea europaea 'Little Olive' TM	Little Olive Olive		5 gal.	5'	Very Low	
	Rha min	Rhapidoiepis umbellata 'Minor'	Yedda Hawthorn		5 gal.	3'	Low	
(Symbol)		ACCENT SHRUB		131				
	Aga afr	Agapanthus africanus	African Lily		5 gal.	2'	Moderate	
	Hes par	Hesperaloe parviflora	Red Yucca		5 gal.	4'	Low	
	Per atr	Perovskia atriplicifolia	Russian Sage		5 gal.	6'	Low	
	Pho ten	Phormium tenax spp.	New Zealand Flax, med/s'm varieties		5 gal.	3'	Low	
	Ros wht	Rosa x 'Noaschnee' TM	Flower Carpet White Groundcover Rose		5 gal.	3'	Moderate	
	Sal leu	Salvia leucantha	Mexican Bush Sage		5 gal.	4'	Low	
(Symbol)		INFILL SHRUB		287				
	Cal vim	Callistemon viminalis 'Little John'	Little John Weeping Bottlebrush		5 gal.	4'	Low	
	Cis pur	Cistus x purpureus	Orchid Rockrose		5 gal.	6'	Low	
	Die ird	Dietses indioides	Fortnight Lily		5 gal.	3'	Low	
	Nan glf	Nandina domestica 'Gulf Stream' TM	Gulf Stream Heavenly Bamboo		5 gal.	3'	Low	
	Pit whl	Pittosporum tobira 'Wheeler's Dwarf'	Wheeler's Dwarf Pittosporum		5 gal.	4'	Moderate	
	Rha ind	Rhapidoiepis indica	Indian Hawthorn		5 gal.	4'	Moderate	
(Symbol)		SMALL ACCENT SHRUBS		256				
	Aga ppn	Agapanthus africanus 'Peter Pan'	Peter Pan African Lily		1 gal.	2'	Moderate	
	Aga ran	Agapanthus africanus 'Rancho White'	Rancho White African Lily		1 gal.	2'	Moderate	
	Dia lrv	Dianella revoluta 'DR5000' TM	Little Rev Flax Lily		1 gal.	2'	Low	
	Dia var	Dianella revoluta 'Variegated'	Variegated Flax Lily		1 gal.	3'	Low	
	Lir lir	Liriope muscari 'Majestic'	Majestic Lilyturf		1 gal.	2'	Moderate	
	Lir sun	Liriope muscari 'Silvery Sunproof'	Silvery Sunproof Lilyturf		1 gal.	2'	Moderate	
	Sal che	Salvia microphylla	Graham Sage		1 gal.	4'	Low	
	Zau cal	Zauschneria californica	California Fuchsia		1 gal.	3'	Low	
VINE								
	Fic pum	Ficus pumila	Creeping Fig		5 gal.	8'	Moderate	
	Par tri	Parthenocissus tricuspidata	Boston Ivy		5 gal.	8'	Moderate	
SHRUB AREAS								
(Symbol)		ORNAMENTAL GRASS		3,400 sf				
	Cho tec	Chondropetalum tectorum	Cape Rush		54	5 gal.	3'	Low
	Bou gra	Bouteloua gracilis	Blue Grama Grass		236	1 gal.	2'	Low
	Cal kar	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass		40	5 gal.	3'	Low
	Car tum	Carex tumulicola	Foothill Sedge		133	1 gal.	2'	Low
	Muh cap	Muhlenbergia capillaris	Pink Muhly Grass		19	5 gal.	5'	Low
	Muh dub	Muhlenbergia dubia	Pine Muhly		54	1 gal.	3'	Low
	Muh rig	Muhlenbergia rigens	Deer Grass		19	5 gal.	5'	Low
(Symbol)		BIO-FILTRATION PLANTING		7,388 sf				
	Cho tec	Chondropetalum tectorum	Cape Rush		214	5 gal.	3'	Low
	Car tum	Carex tumulicola	Foothill Sedge		480	1 gal.	2'	Low
	Jun car	Juncus patens 'Carman's Grey'	Spreading Rush		306	1 gal.	3'	Low
	Muh rig	Muhlenbergia rigens	Deer Grass		78	5 gal.	5'	Low
GROUND COVERS								
(Symbol)		LOW GROUND COVER		4,995 sf				
	Arc ecp	Arctostaphylos x 'Emerald Carpet'	Emerald Carpet Manzanita		91	1 gal.	36"	Moderate
	Bac twi	Baccharis pilularis 'Twin Peaks#2'	Twin Peaks #2 Coyote Brush		34	1 gal.	60"	Low
	Com vst	Coprosma patens 'Verde Vista'	Verde Vista Mirror Plant		69	1 gal.	42"	Low
	Cot low	Cotoneaster dammeri 'Lowfast'	Lowfast Bearberry Cotoneaster		34	1 gal.	60"	Low
	Jun blu	Juniperus horizontalis 'Blue Chip'	Blue Chip Juniper		98	1 gal.	36"	Low
	Myo pro	Myoporum parvifolium 'Prostratum'	Prostrate Trailing Myoporum		34	1 gal.	60"	Low
(Symbol)		ACCENT GROUND COVER		4,393 sf				
	Hem spp	Hemerocallis spp.	Dailyly species		126	1 gal.	30"	Moderate
	Lom bre	Lomandra longifolia 'Breeze' TM	Breeze Mat Rush		126	1 gal.	36"	Low
	Tra jas	Trachelospermum jasminoides	Chinese Star Jasmine		126	1 gal.	36"	Moderate
	Ver hyb	Verbena x hybrida	Verbena		180	1 gal.	30"	Low



Preliminary Landscape Plan - Sheet L2

09 May 2024 | Lone Tree Retail - Antioch, CA



Plan View
Scale - 1" = 20'

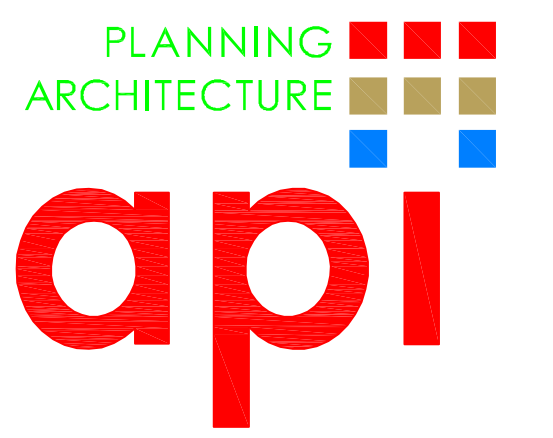
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARCEL 1 CAR WASH SIDEWALKS	+	3.7 fc	12.0 fc	1.8 fc	6.7:1	2.1:1
PARCEL 1 CAR WASH UNDER PAY STATION	+	15.8 fc	23.9 fc	8.5 fc	2.8:1	1.9:1
PARCEL 1 CAR WASH VACUUM AREA	+	2.6 fc	4.3 fc	1.9 fc	2.3:1	1.4:1
PARCEL 1 DRIVE / PARKING	+	2.9 fc	5.1 fc	1.4 fc	3.6:1	2.1:1
PARCEL 1 QSR DRIVE / PARKING	+	3.7 fc	5.7 fc	1.1 fc	5.2:1	3.4:1
PARCEL 1 QSR DRIVE-THRU	+	2.7 fc	4.5 fc	1.2 fc	3.8:1	2.3:1
PARCEL 1 QSR PATIO	+	2.5 fc	2.7 fc	2.3 fc	1.2:1	1.1:1
PARCEL 1 QSR SIDEWALKS	+	1.9 fc	4.3 fc	0.2 fc	21.5:1	9.5:1
PARCEL 1 CAR WASH DRIVE-THRU	+	2.8 fc	7.5 fc	1.1 fc	6.8:1	2.5:1

Luminaire Locations	
Label	MH
F	9.00
S1	20.00
S3	20.00
W1	18.00

Schedule						
Symbol	Label	Manufacturer	Catalog	Description	Lamp Output	Input Power
+	F	Lithonia Lighting	FEM L48 6000LM LPACL MD 80CRI 40K	FEM LED 48", 6,000 lumens, acrylic, low profile clear lens, medium distribution, 80 CRI, 4000 K	6061	37.76
+	S1	Lithonia Lighting	DSX0 LED P6 40K 80CRI BLC3	D-Series Size 0 Area Luminaire P6 Performance Package 4000K CCT 80 CRI Type 3 Extreme Backlight Control	11436	137
+	S3	Lithonia Lighting	DSX0 LED P6 40K 80CRI TSM	D-Series Size 0 Area Luminaire P6 Performance Package 4000K CCT 80 CRI Type 5 Medium	16417	274
+	W1	Lithonia Lighting	WDGE2 LED P4 40K 80CRI T4M	WDGE2 LED WITH P4 - PERFORMANCE PACKAGE, 4000K, 80CRI, TYPE 4 MEDIUM OPTIC	4177	46.6589

LOAN TREE RETAIL
PARCEL 1

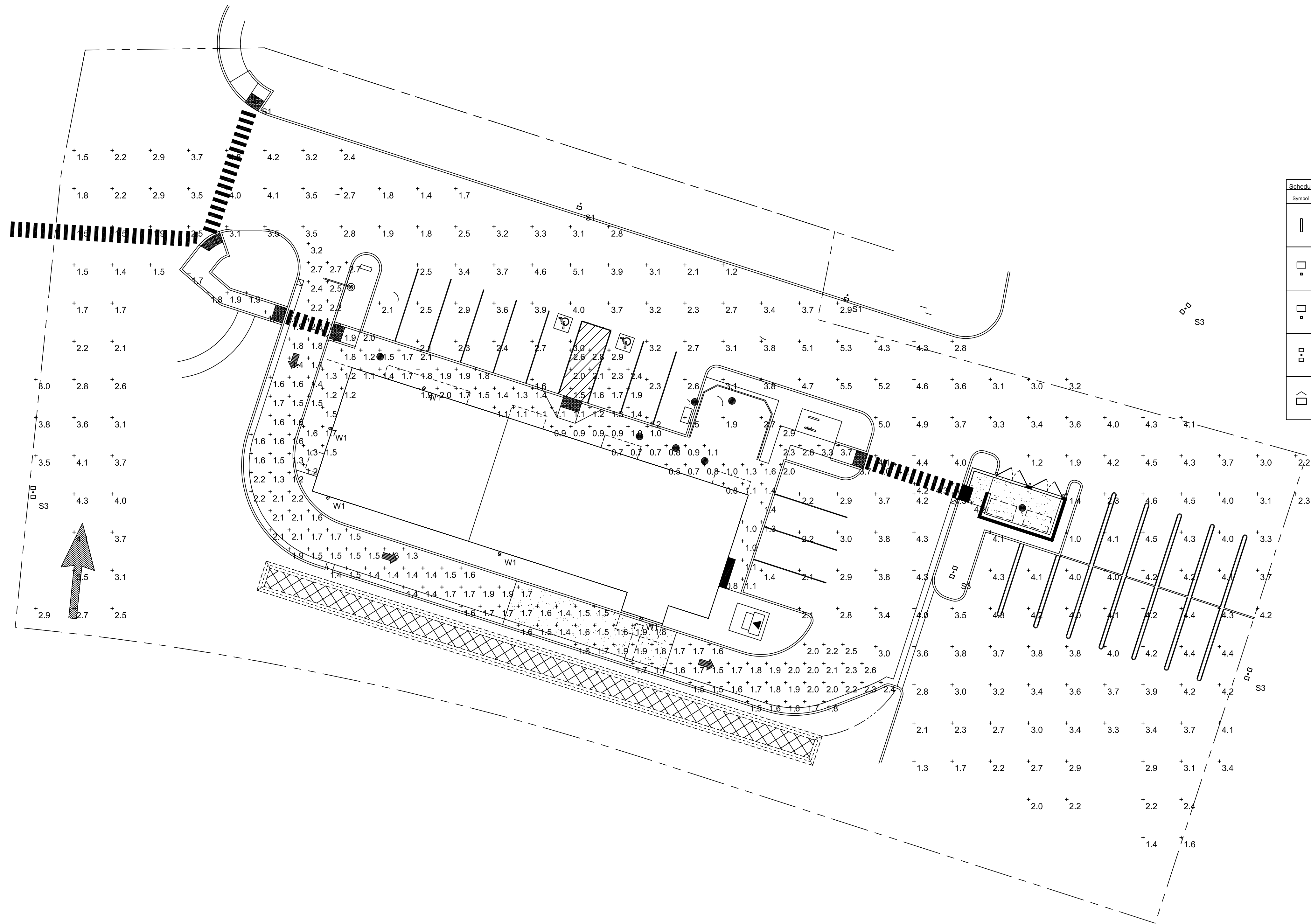
PROPOSED DEVELOPMENT:
LOAN TREE RETAIL
4099 LONE TREE WAY
ANTIOCH, CA.



HCS Engineering inc.
50 years
4512 Feather River Dr #F, Stockton, CA 95219
209-478-8270 | www.hcs-eng.com

ph. 209.577.4661
fx. 209.577.0213
www.apiarc.com

S1



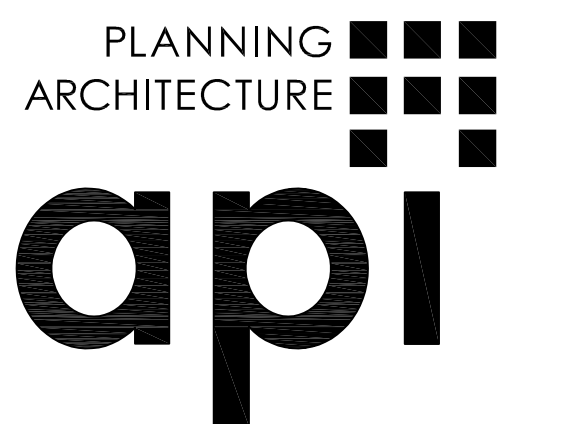
Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number	Lamp	LF	Foot
F	F		0	Lithonia Lighting	FEM L48 8000LM LPACL MD 80CRI 40K	FEM LED 4ft, 8,000 lumens, acrylic, low profile clear lens, medium distribution, 80 CRI, 4000K	1	6061	0.9	37.76
S1	S1		4	Lithonia Lighting	DSX0 LED P6 40K 80CRI BL-C2	D-Series Sba 0 Area Luminaire P6 Performance Package 4000K CCT 80 CRI Type 3 Extreme Backlight Control	1	11436	0.9	137
S2	S2		0	Lithonia Lighting	DSX0 LED P6 40K 80CRI TFFM	D-Series Sba 0 Area Luminaire P6 Performance Package 4000K CCT 80 CRI Forward Throw	1	16067	0.9	137
S3	S3		4	Lithonia Lighting	DSX0 LED P6 40K 80CRI TSM	D-Series Sba 0 Area Luminaire P6 Performance Package 4000K CCT 80 CRI Type 5 Medium	1	16417	0.9	274
W1	W1		5	Lithonia Lighting	WDGE2 LED P4 40K 80CRI TMI	WDGE2 LED WITH P4 - PERFORMANCE PACKAGE, 4000K, 80CRI, TYPE 4 MEDIUM OPTIC	1	4177	0.9	46.6589

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARCEL 2 QSR DRIVE-THRU	+	1.8 fc	3.2 fc	1.2 fc	2.7:1	1.5:1
PARCEL 2 QSR SIDEWALKS	+	1.7 fc	4.3 fc	0.5 fc	8.6:1	3.4:1
PARCEL 2 DRIVE / PARKING	+	3.2 fc	5.5 fc	1.0 fc	5.5:1	3.2:1

Luminaire Locations	
Label	MH
S1	20.00
S3	20.00
W1	18.00

PARCEL G PHOTOMETRIC PLAN

PROPOSED DEVELOPMENT:
LONE TREE RETAIL
 4099 LONE TREE WAY
 ANTIOCH, CA.



ARCHITECTURE PLUS INC.
 4335-B NORTH STAR WAY
 MODESTO, CA 95356

E2

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 50 years
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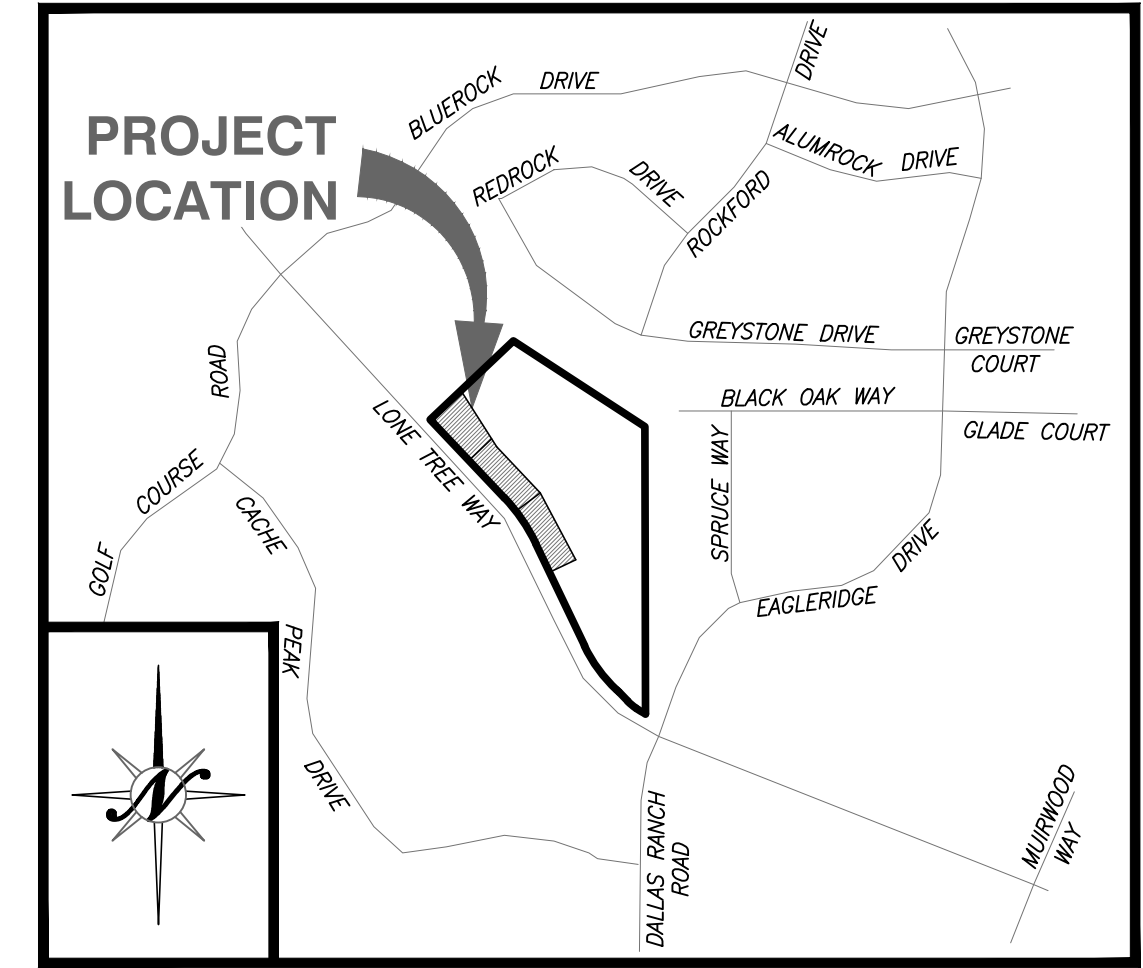
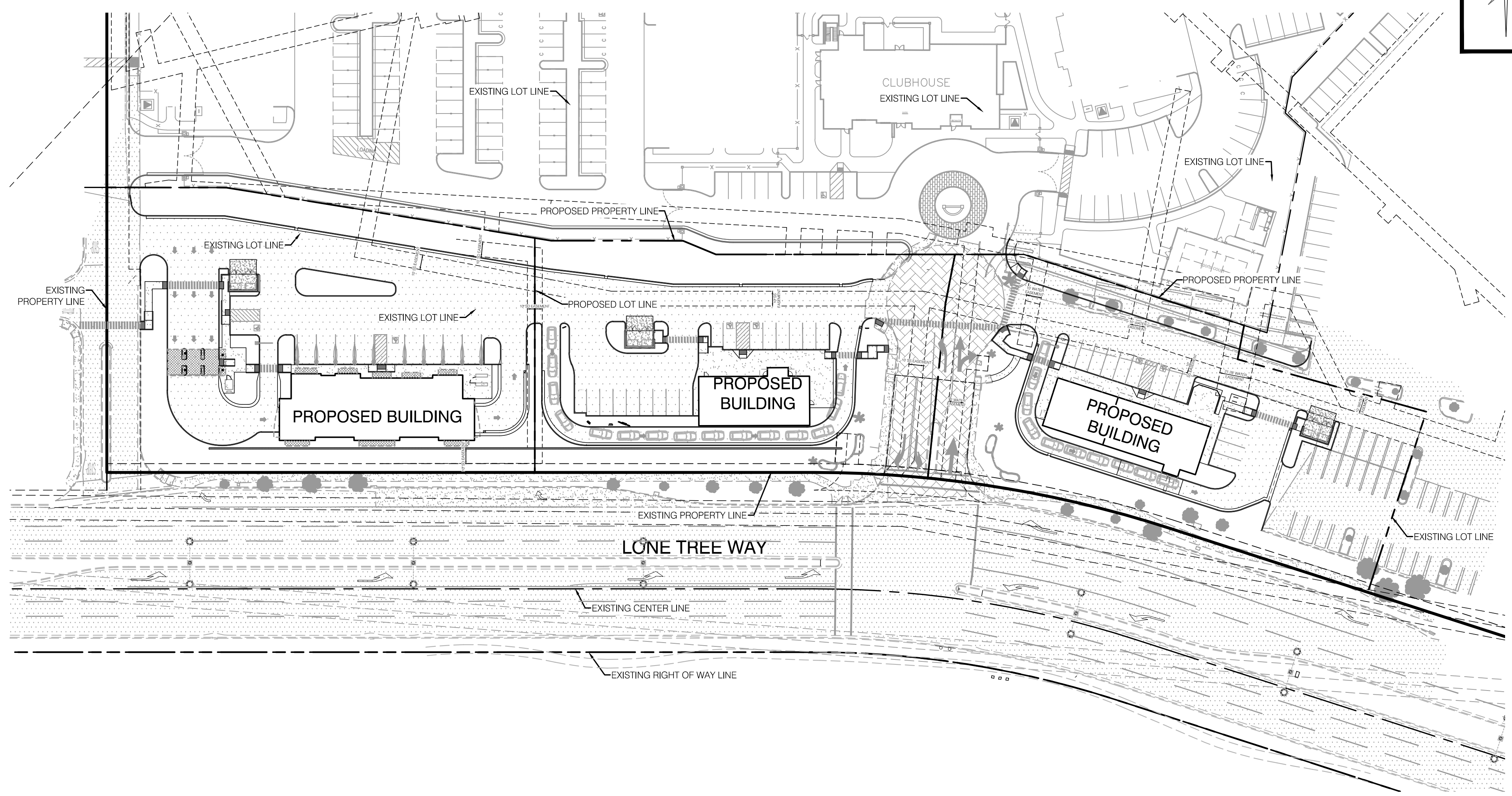
ph. 209.577.4661
 fx. 209.577.0213

www.apirc.com

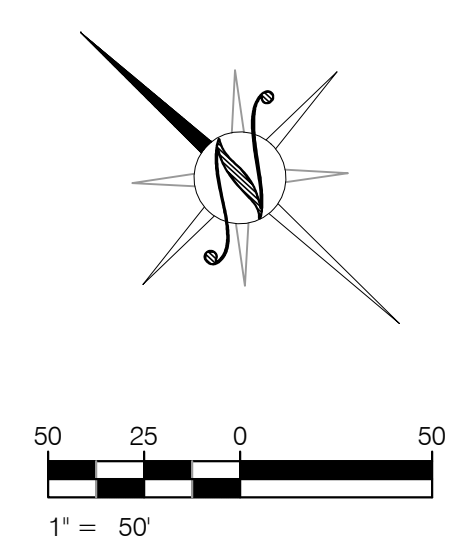
LEGEND

	EXISTING	PROPOSED
BOUNDARY LINE	---	---
CENTERLINE	---	---
RIGHT-OF-WAY	---	---
PARCEL LINE	---	---
MONUMENT	N/A	⊙
SAWCUT	N/A	////
CURB, GUTTER AND SIDEWALK	---	---
EDGE OF PAVEMENT	---	---
CONCRETE VALLEY GUTTER	N/A	---
TRENCH DRAIN	N/A	---
STORM DRAIN (MAIN)	12SD	12SD
FORCE MAIN	48FM	48FM
DRAINAGE SWALE	---	---
STORM DRAIN MAINTENANCE HOLE	SD	SD
CURB INLET	CI	CI
DRAIN INLET	DI	DI
DRAIN INLET ON MAINTENANCE HOLE	DI	DI
STORM DRAINAGE FILTER	N/A	SD
WATER (MAIN)	12W	8W
WATER (SERVICE)	12W	8W
WATER VALVE	WV	WV
WATER BLOW OFF VALVE	BO	BO
BACK FLOW PREVENTER	BFP	BFP
POST INDICATOR VALVE (SINGLE)	PV	PV
FIRE DEPARTMENT CONNECTION	FDC	FDC
FIRE HYDRANT	FH	FH
FIRE SPRINKLER RISER	N/A	WM
WATER METER	N/A	WM
SERVICE STUB	N/A	N/A
CLEANOUT	N/A	N/A
SEWER MAINTENANCE HOLE	N/A	SS
GREASE TRAP	N/A	GT
SEWER (MAIN)	12SS	12SS
JOINT TRENCH (APPROX LOCATION)	JT	N/A
TRANSFORMER (APPROX LOCATION)	N/A	TR
OVER HEAD ELECTRICAL	OHE	N/A
SERVICE POLE	SP	N/A
JOINT POLE	JP	N/A
JOINT POLE WITH LIGHT	JP	N/A
POWER POLE	PP	N/A
TELEPHONE POLE	TP	N/A
GUY	G	N/A
ELECTRICAL MANHOLE	N/A	N/A
ELECTROLIER	EL	N/A
UTILITY BOX	UB	N/A
GAS LINE	G	N/A
GAS VALVE	GV	N/A
PAD ELEVATION	N/A	N/A
FINISH FLOOR ELEVATION (PROPOSED)	N/A	FF=100.00
BUILDING PAD	N/A	BP
TOP OF CURB ELEVATION	68.34 TC	68.34 TC
ORIGINAL GROUND	100.00	N/A
DIRECTION OF FLOW	---	---
CONTOURS	32	32
WALL (SEE LABEL FOR TYPE)	---	---
FENCE (CHAINLINK OR VINYL)	---	---
FENCE (WIRE OR HOGWIRE)	---	---
FENCE (WOOD OR WROUGHT IRON)	---	---
FENCE (SPLIT RAIL)	---	---
TREE OR SHRUB	N/A	N/A
TREE STUMP	N/A	N/A
IRRIGATION LINE	---	---
IRRIGATION VALVE	N/A	N/A
IRRIGATION PRESSURE MANHOLE/VENT	N/A	N/A
SIGN	N/A	N/A
PERCOLATION TEST LOCATION	N/A	N/A
R-VALUE SAMPLE LOCATION	N/A	N/A
KEYNOTE SYMBOL	N/A	N/A
DETAIL BUBBLE	N/A	N/A

CONCEPTUAL PLANNING PLANS FOR ANTIOCH RETAIL ANTIOCH, CALIFORNIA



VICINITY MAP
NTS



ABBREVIATIONS

PLUS OR MINUS (NOT EXACT)	DIP	DUCTILE IRON PIPE	JT	JOINT TRENCH	RV	RESISTANCE VALUE
AT	(DOM)	DOMESTIC	MAX	MAXIMUM	RP	REDUCED PRESSURE
AGGREGATE BASE	DR	DRIVE	MH	MAINTENANCE HOLE	RW	RECYCLED WATER
ASPHALT CONCRETE	DW	DRIVEWAY	MIN	MINIMUM	BP	BACKFLOW PREVENTER
ACCESSIBLE	E	EAST	N	NORTH	S	SLOPE OR SOUTH
AVERAGE DAILY TRUCK TRAFFIC	EC	END OF CURVE	NDS	NDS INC. (MANUFACTURER)	SD	STORM DRAIN
ATRIUM GRATE	ELC	ELECTROLIER	NIC	NOT INCLUDED	SG	SUB-GRADE
ALTERNATE	ELEV	ELEVATION	NSE	NORTHSTAR ENGINEERING	SHT	SHEET
ASSESSORS PARCEL NUMBER	EP	EDGE OF PAVEMENT	NTS	NOT TO SCALE	SIM	SIMILAR
AUTOMATIC SPRINKLER RISER	ER	END OF RETURN	OC	ON CENTER	SNS	STREET NAME SIGN
AVENUE	ESMT OR EASE	EASEMENT	OF	OFFSET	ST	STREET
BEGIN CURVE	EX OR EXIST	EXISTING	OG	ORIGINAL GROUND / GRADE	STA	STATION
BOUNDARY	FDC	FIRE DEPARTMENT CONNECTION	OHE	OVER HEAD ELECTRIC	STD	STANDARD
BACK FLOW PREVENTOR	FES	FLARED END SECTION	P OR PAV	PAVEMENT	STD	STANDARD
BOOK	FF	FINISH FLOOR	PCC	POINT OF COMPOUND CURVE OR PORTLAND CEMENT CONCRETE	S/W OR SW	SIDEWALK
BENCH MARK	FG	FINISH GRADE	PG	PAGE	SS	SANITARY SEWER
BACK OF WALK	FH	FIRE HYDRANT	PG&E	PACIFIC GAS AND ELECTRIC	TBC	TOP BACK OF CURB
BUILDING SETBACK LINE	FL	FLOW LINE	PV	PRESSURE INDICATOR VALVE	TC	TOP OF CURB
BEGIN VERTICAL CURVE	FM	FORCE MAIN	PL	PROPERTY LINE	TD	TRENCH DRAIN
CURB AND GUTTER	FS	FIRE SERVICE	PM	PARCEL MAP	TDC	TOP OF DRIVE OVER CURB
CATCH BASIN	FSR	FIRE SPRINKLER RISER	POC	POINT OF CONNECTION	TEMP	TEMPORARY
CONTRA COSTA COUNTY	GALV	GALVANIZED	PP	POWER POLE	TG	TOP OF GRATE
CONTINUOUS DEFLECTION	GB	GRADE BREAK	PRC	POINT OF REVERSE CURVATURE	THRU	THROUGH
SEPARATORS	GR	GRATE, GRADE, OR GROUND	PROF	PROFILE	TI	TRAFFIC INDEX
CAST IRON PIPE	GS@W	GROUND SHOT AT WALL	PTD	POINT	TW	TOP OF WALL
CENTER LINE	GV	GATE VALVE	PTF	PRESSURE TREATED DOUGLAS FIR	TPE	TREE PLANTING EASEMENT
CORRUGATED METAL PIPE	HORIZ	HORIZONTAL	PUE	PUBLIC UTILITY EASEMENT	TVC	TOP OF VERTICAL CURB
CLEAN OUT	HP	HIGH POINT	PVC	POLYVINYL CHLORIDE PIPE	TYP	TYPICAL
CITY OF ANTIOCH	HPS	HIGH PRESSURE SODIUM	RW	RECLAIMED WATER	UNLESS OTHERWISE NOTED	UNLESS OTHERWISE NOTED
COMPACTION	HT	HEIGHT	R/W	RIGHT-OF-WAY	VERT	VERTICAL
CONC OR CC	HWY	HIGHWAY	R	RADIUS	VCP	VITRIFIED CLAY PIPE
CONCRETE	ID	INSIDE DIAMETER	RC	REINFORCED CONCRETE PIPE	W	WATER OR WEST
CONTINUOUS	INV	INVERT	RCP	REINFORCED CONCRETE PIPE	WS	WATER SERVICE
CURB RETURN	IRR	IRRIGATION	R.D.	RELATIVE DENSITY	WY	WAY
COURT	LF	LINEAL FEET OR LINEAR FEET	RD	ROAD	W/	WITH
CHECK VALVE	LN	LANE	RET	RETURN	WWF	WELDED WIRE FABRIC
DOUBLE DETECTOR CHECK VALVE	LP	LOW POINT				
DRAIN INLET						
DIAMETER						

PREPARED FOR

CLIENT:
PAUL ROTHBARD
26128 PACIFIC COAST HIGHWAY, SPACE 172
MALIBU, CA 90265
P: (209) 649-2517
CONTACT:
PAUL ROTHBARD

PROJECT LOCATION

SITE ADDRESS
LONE TREE WAY
ANTIOCH, CA 94531

BENCHMARK

ELEVATION: 149.35
2-1/2" BRASS DISC IN THE MONUMENT WELL LOCATED AT THE CENTERLINE INTERSECTION OF RIDGEROCK DRIVE AND DEL FAYERO DRIVE. MON. WELL TAGGED 'L.S. 5701'

SHEET INDEX

SHEET NUMBER	TITLE
1.	C1.1 COVER SHEET
2.	C1.2 DETAILS AND CROSS SECTIONS
3.	C1.3 ENGINEERED CROSS SECTIONS
4.	C2.1 TOPOGRAPHIC PLAN
5.	C2.2 TOPOGRAPHIC PLAN
6.	C3.1 DIMENSION AND PAVING PLAN
7.	C3.2 DIMENSION AND PAVING PLAN
8.	C4.1 GRADING AND DRAINAGE PLAN
9.	C4.2 GRADING AND DRAINAGE PLAN
10.	CS.1 COMPOSITE UTILITY AND STORMWATER QUALITY PLAN
11.	CS.2 COMPOSITE UTILITY AND STORMWATER QUALITY PLAN



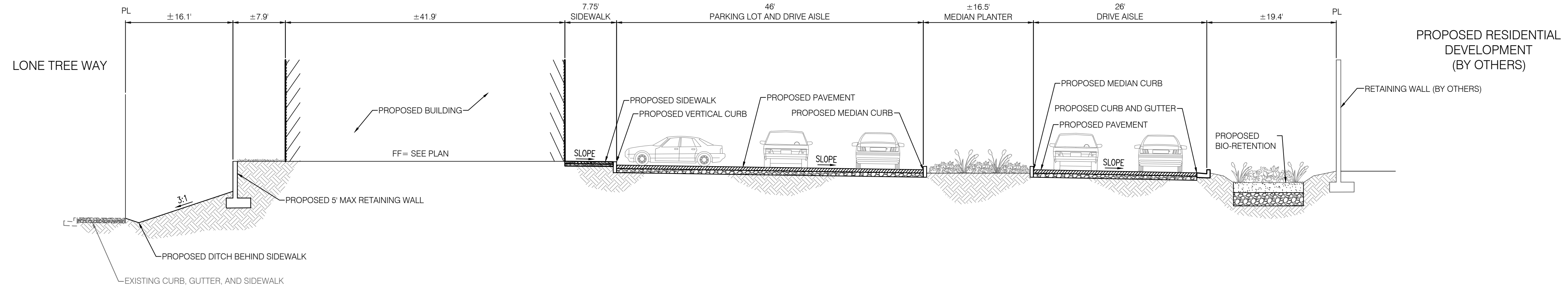
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	DESCRIPTIONS		

COVER SHEET
 CONCEPTUAL PLANNING PLANS FOR
 ANTIOCH RETAIL
 ANTIOCH, CALIFORNIA

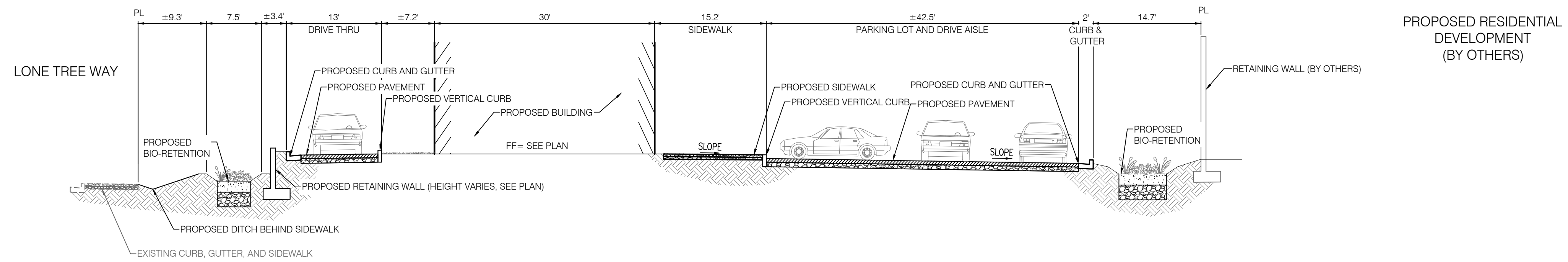


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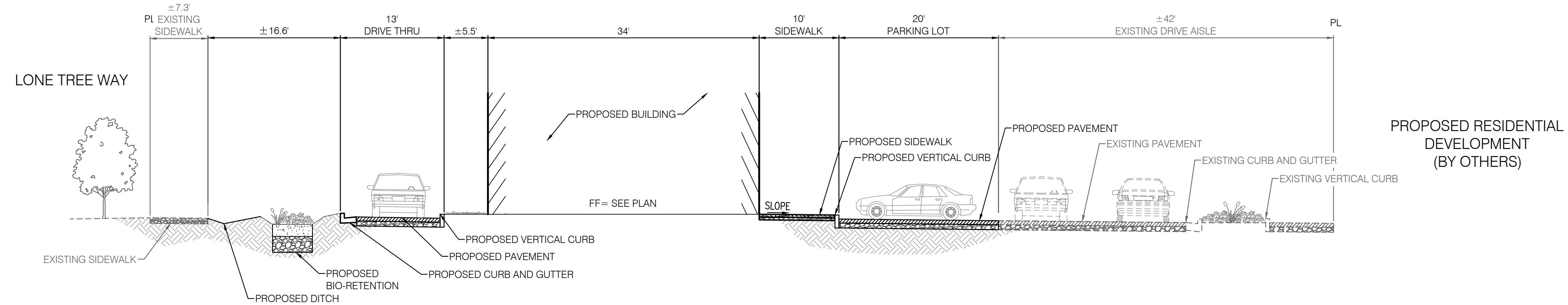
SHEET NUMBER
C1.1



A CROSS SECTION "A"
NTS



B CROSS SECTION "B"
NTS



C CROSS SECTION "C"
NTS



NO.	REVISIONS	DATE	APPROVED

DETAILS AND CROSS SECTIONS
CONCEPTUAL PLANNING PLANS FOR
ANTIOCH RETAIL
ANTIOCH, CALIFORNIA



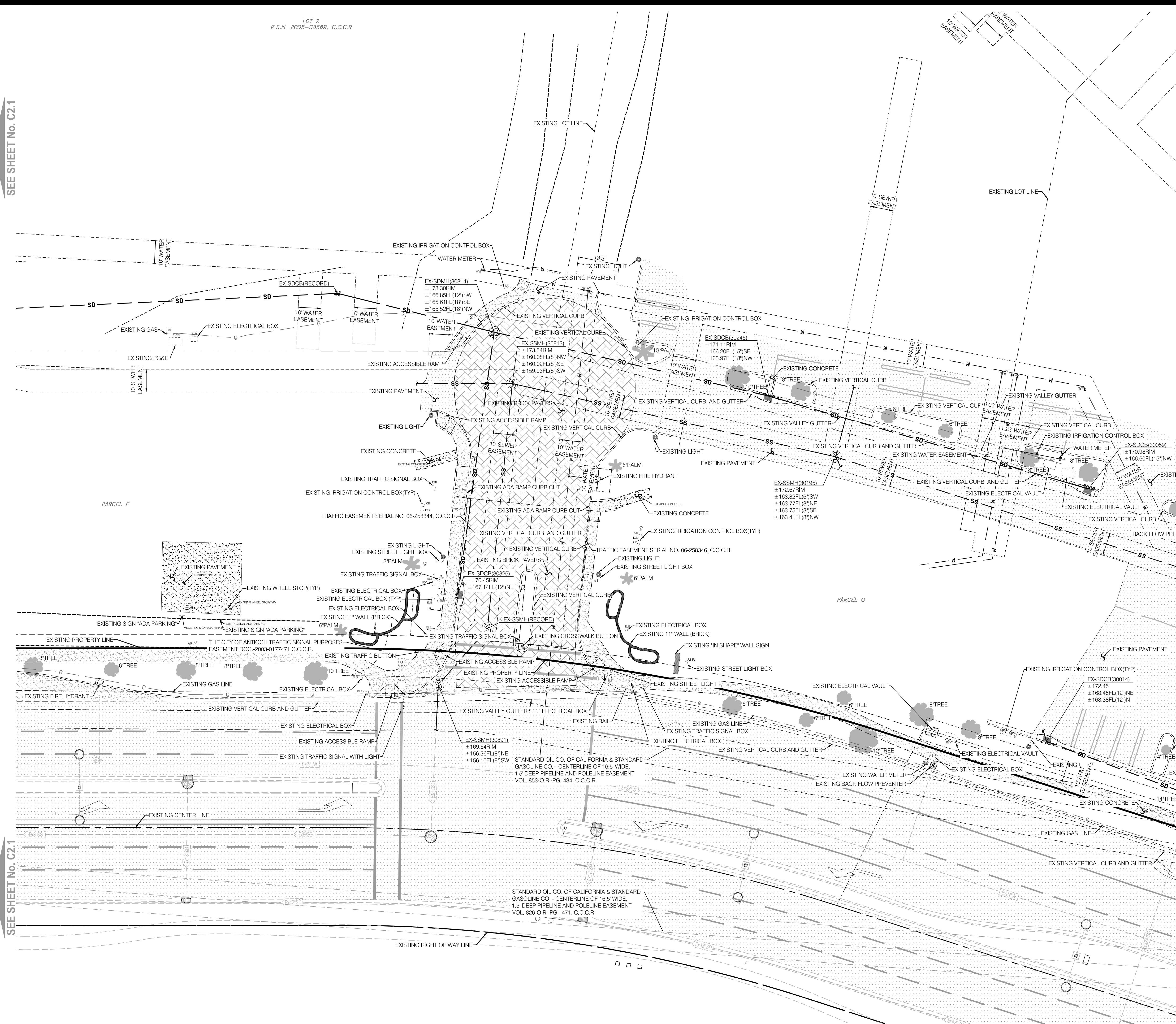
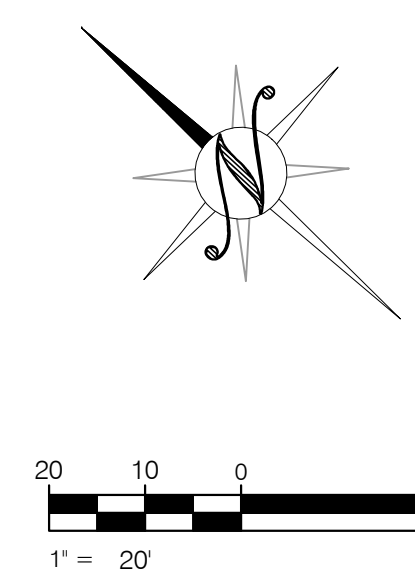
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SHEET NUMBER

C1.2

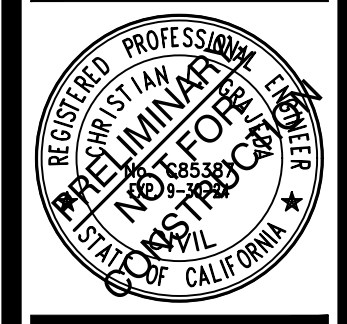
SEE SHEET No. C2.1

SEE SHEET No. C2.1



HATCH LEGEND

	EXISTING PAVEMENT		EXISTING PAVEMENT STRUCTURAL SECTION TO BE REMOVED
	EXISTING CONCRETE		EXISTING CONCRETE STRUCTURAL SECTION TO BE REMOVED



NO.	REVISIONS	DATE	APPROVED

TOPOGRAPHIC PLAN
CONCEPTUAL PLANNING PLANS FOR
ANTIOCH RETAIL
ANTIOCH, CALIFORNIA

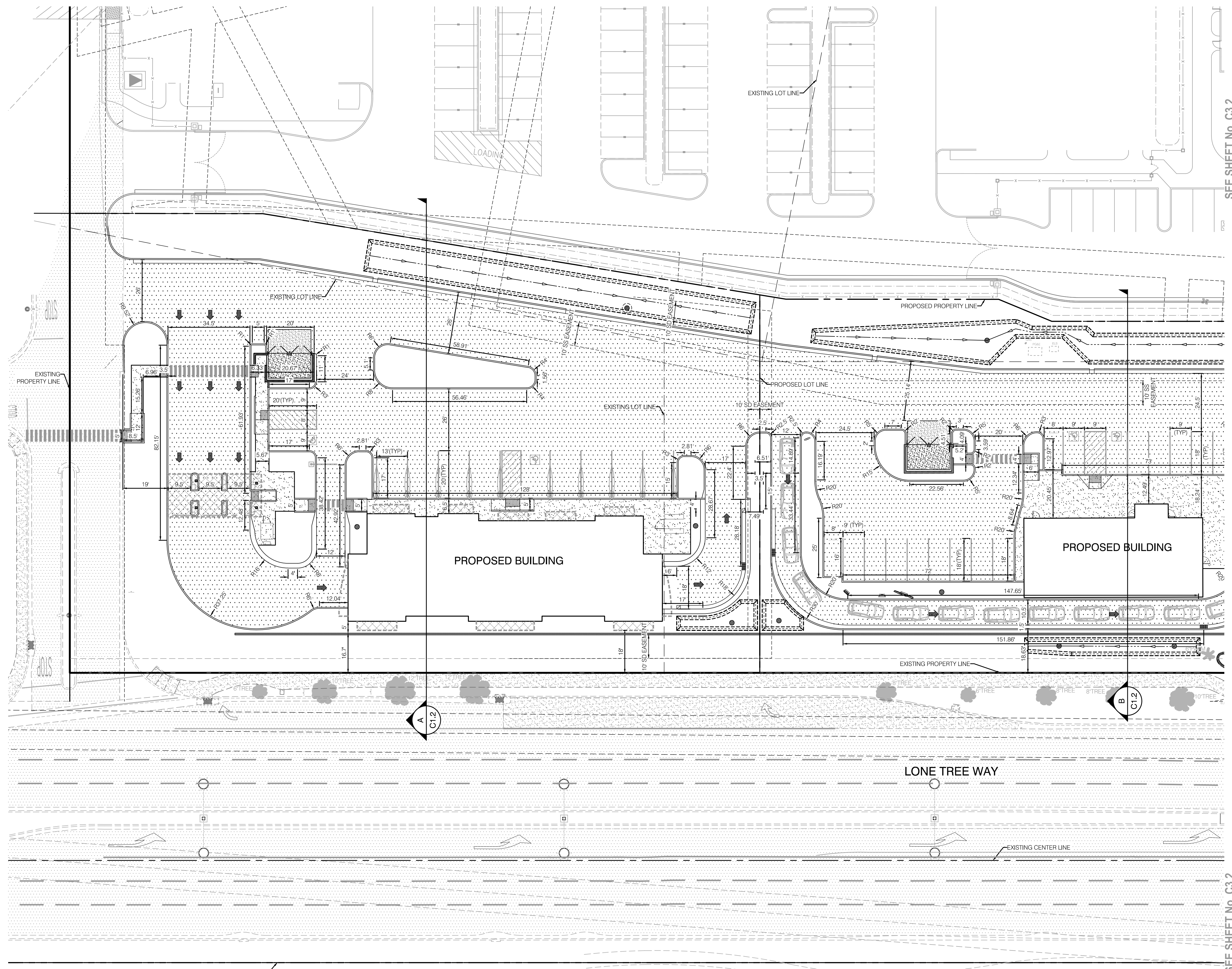
North Star Engineering Group, Inc.
CIVIL ENGINEERING • SURVEYING • PLANNING
620 12th Street
Modesto, CA 95354
(209) 524-3225 Phone (209) 524-3226 Fax

JOB #:	23-3273
DATE:	05/13/2024
SCALE:	AS SHOWN
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CHKD:	CIG

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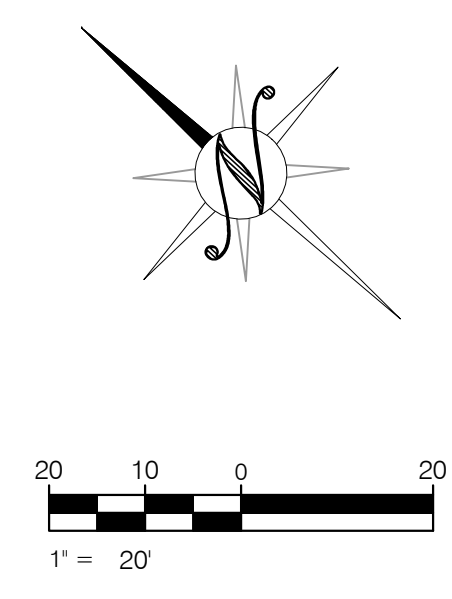
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NORTHSTAR ENGINEERING GROUP, INC.
 620 12th Street
 Modesto, CA 95354
 (209) 524-3225 Phone (209) 524-3226 Fax



SEE SHEET No. C3.2

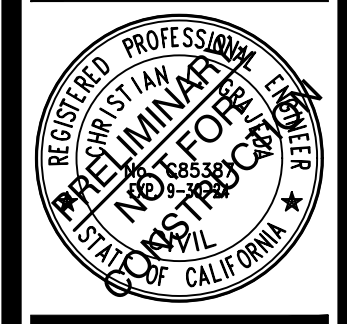
SEE SHEET No. C3.2



HATCH LEGEND

	EXISTING PAVEMENT		EXISTING CONCRETE
	PROPOSED PAVEMENT		PROPOSED CONCRETE

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NO.	REVISIONS DESCRIPTIONS	DATE	APPROVED

DIMENSION AND PAVING PLAN
CONCEPTUAL PLANNING PLANS FOR
ANTIOCH RETAIL
 ANTIOCH, CALIFORNIA



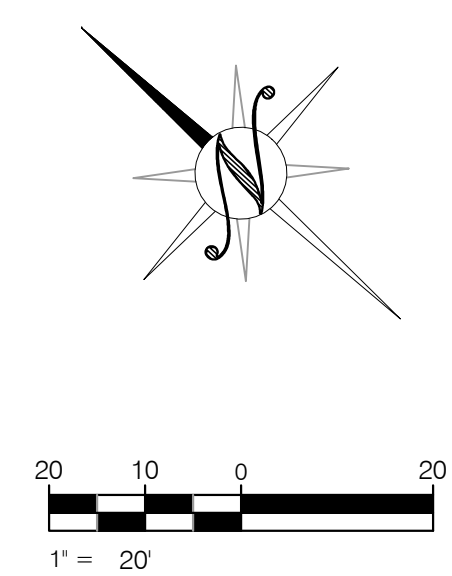
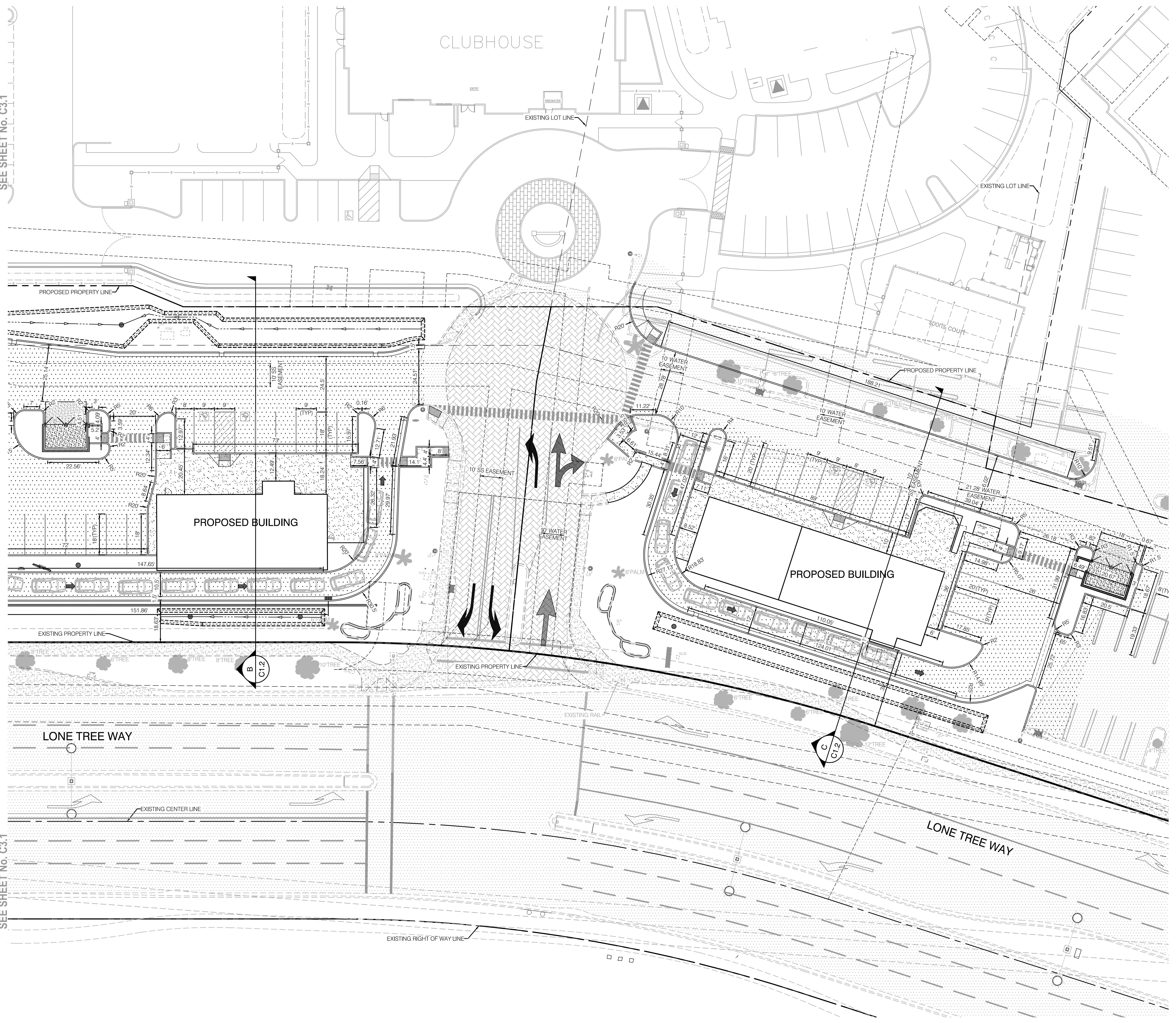
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CHKD:	CIG

SHEET NUMBER

C3.1

SEE SHEET No. C3.1

SEE SHEET No. C3.1



NO.	REVISIONS DESCRIPTIONS	DATE	APPROVED

DIMENSION AND PAVING PLAN
CONCEPTUAL PLANNING PLANS FOR
ANTIOCH RETAIL
 ANTIOCH, CALIFORNIA

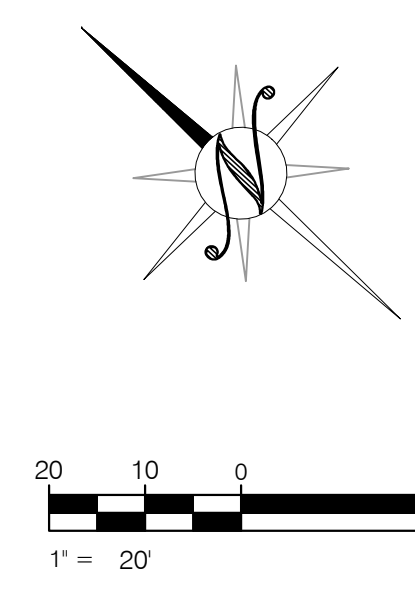
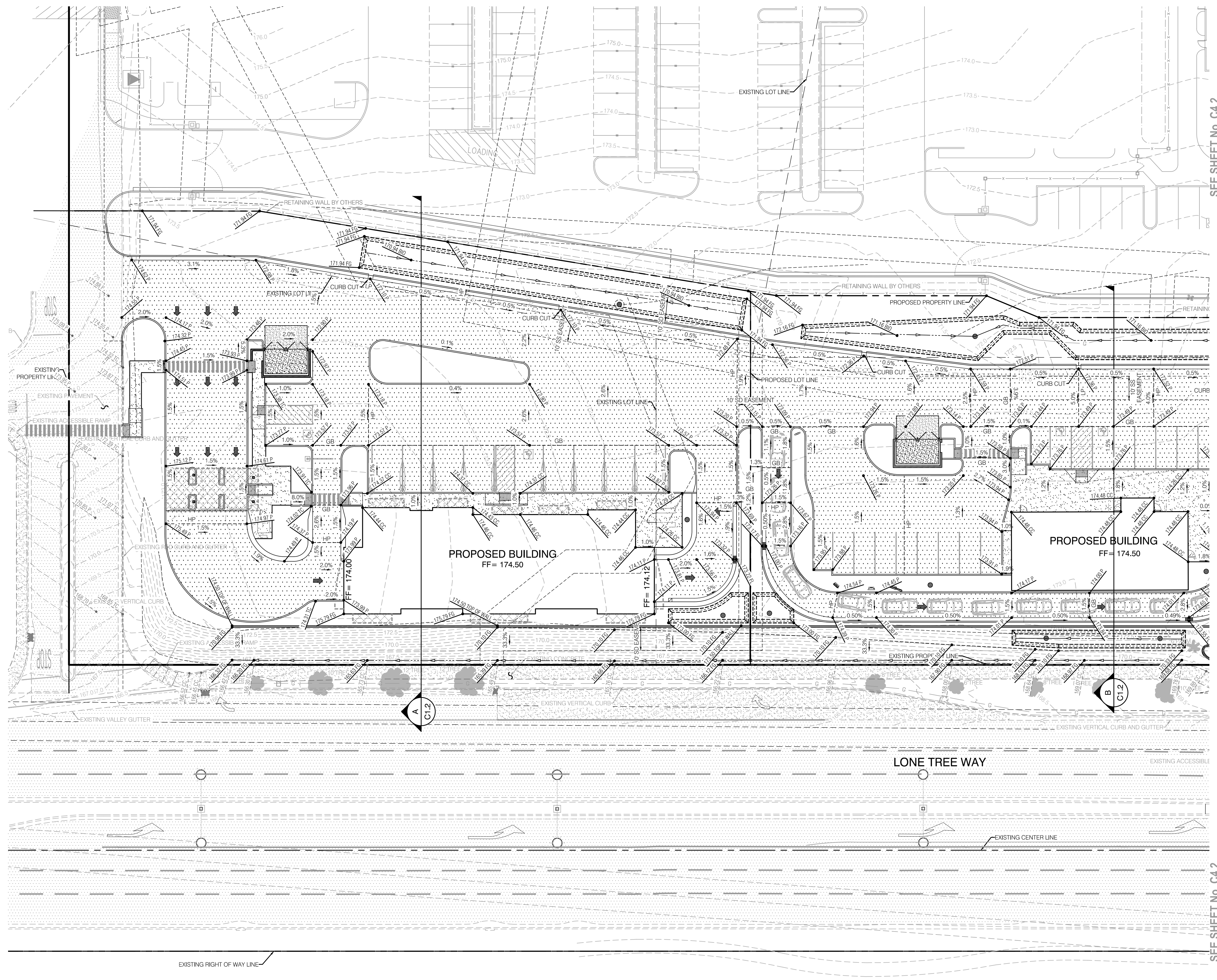
NorthStar
Engineering Group, Inc.
 • CIVIL ENGINEERING • SURVEYING • PLANNING •
 620 12th Street Modesto, CA 95354
 (209) 524-3225 Phone (209) 524-3226 Fax

JOB #:	23-3273
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CHKD:	CIG

SHEET NUMBER
C3.2

HATCH LEGEND

	EXISTING PAVEMENT		EXISTING CONCRETE
	PROPOSED PAVEMENT		PROPOSED CONCRETE



SEE SHEET No. C4.2

SEE SHEET No. C4.2

ESTIMATE OF RAW EARTHWORK

SITE	EXCAVATION C.Y.	EMBANKMENT C.Y.
	RAW CUT	RAW FILL
EARTHWORK	1,977	1,169

ESTIMATE OF ADJUSTED EARTHWORK

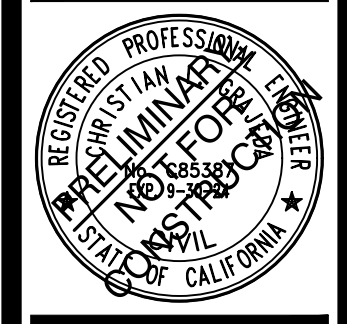
SITE	EXCAVATION C.Y.	EMBANKMENT C.Y.
	ADJUSTED CUT	ADJUSTED FILL
EARTHWORK	1,540	1,603
ADJUSTMENTS ASSUMED	0.20' STRIPPING	

GRADING NOTES

- ADJUSTED EARTHWORK QUANTITIES ARE PROVIDED TO VERIFY THE PROPOSED GRADING DESIGN AND ARE FOR REFERENCE PURPOSES ONLY. THE QUANTITIES SHOWN ARE RAW VALUES AND DO NOT ACCOUNT FOR TRENCH SPOILS, SUBSIDENCE, SHRINKAGE, EXPORT, OR ANY OTHER ADJUSTMENT FACTORS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ADJUST THE QUANTITIES AS APPROPRIATE FOR BIDDING AND CONSTRUCTION PURPOSES. THE CUT AND FILL QUANTITIES SHOWN INDICATE A THEORETICAL YARDAGE FIGURE AND ARE GIVEN ONLY AS A CONVENIENCE TO THE CONTRACTOR. IF IT APPEARS THERE WILL BE AN EXCESS OR SHORTAGE OF MATERIAL, THE CONTRACTOR MAY NOTIFY THE ENGINEER TO DETERMINE IF POSSIBLE GRADE ADJUSTMENTS CAN BE MADE.
- QUANTITIES SHOWN ASSUME PADS ARE CONSTRUCTED AS SHOWN ON THESE PLANS AND DO NOT INCLUDE VOLUME GENERATED FROM ADDITIONAL FOUNDATION ELEMENTS, BASEMENTS, DEPRESSED FLOORS, ETC.
- THE ABOVE QUANTITIES ARE FOR REFERENCE AND FEE PURPOSES ONLY. SINCE THE ENGINEER CANNOT CONTROL THE EXACT METHOD OR MEANS USED BY THE CONTRACTOR DURING GRADING OPERATIONS, NOR CAN THE ENGINEER GUARANTEE THE EXACT SOIL CONDITION OVER THE ENTIRE SITE, THE ENGINEER ASSUMES NO RESPONSIBILITY FOR FINAL EARTH-WORK QUANTITIES. THE CONTRACTOR IS RESPONSIBLE FOR THE OFF HAUL AND DISPOSAL OF ANY AND ALL EXCESS DIRT.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND CLIENT IMMEDIATELY IF THERE IS EXCESS DIRT. THIS PHASE OF THE DEVELOPMENT MAY HAVE BEEN DESIGNED TO GENERATE EXCESS DIRT FOR FUTURE PHASES OF THE PROJECT. ALL EXCESS DIRT IS TO BE STORED ON-SITE AND UTILIZED FOR FUTURE PHASES. A FINAL STOCKPILE PLAN AND LOCATION WILL BE DETERMINED DURING THE COURSE OF CONSTRUCTION.

HATCH LEGEND

	EXISTING PAVEMENT		EXISTING CONCRETE
	PROPOSED PAVEMENT		PROPOSED CONCRETE



NO.	REVISIONS	DATE	APPROVED

GRADING AND DRAINAGE PLAN
CONCEPTUAL PLANNING PLANS FOR
ANTIOCH RETAIL
 CALIFORNIA
 ANTIOCH



JOB #:	23-3273
DATE:	05/13/2024
SCALE:	AS SHOWN
DRAWN:	CIG/EVL
DESIGN:	CIG/TG
CHKD:	CIG

SHEET NUMBER

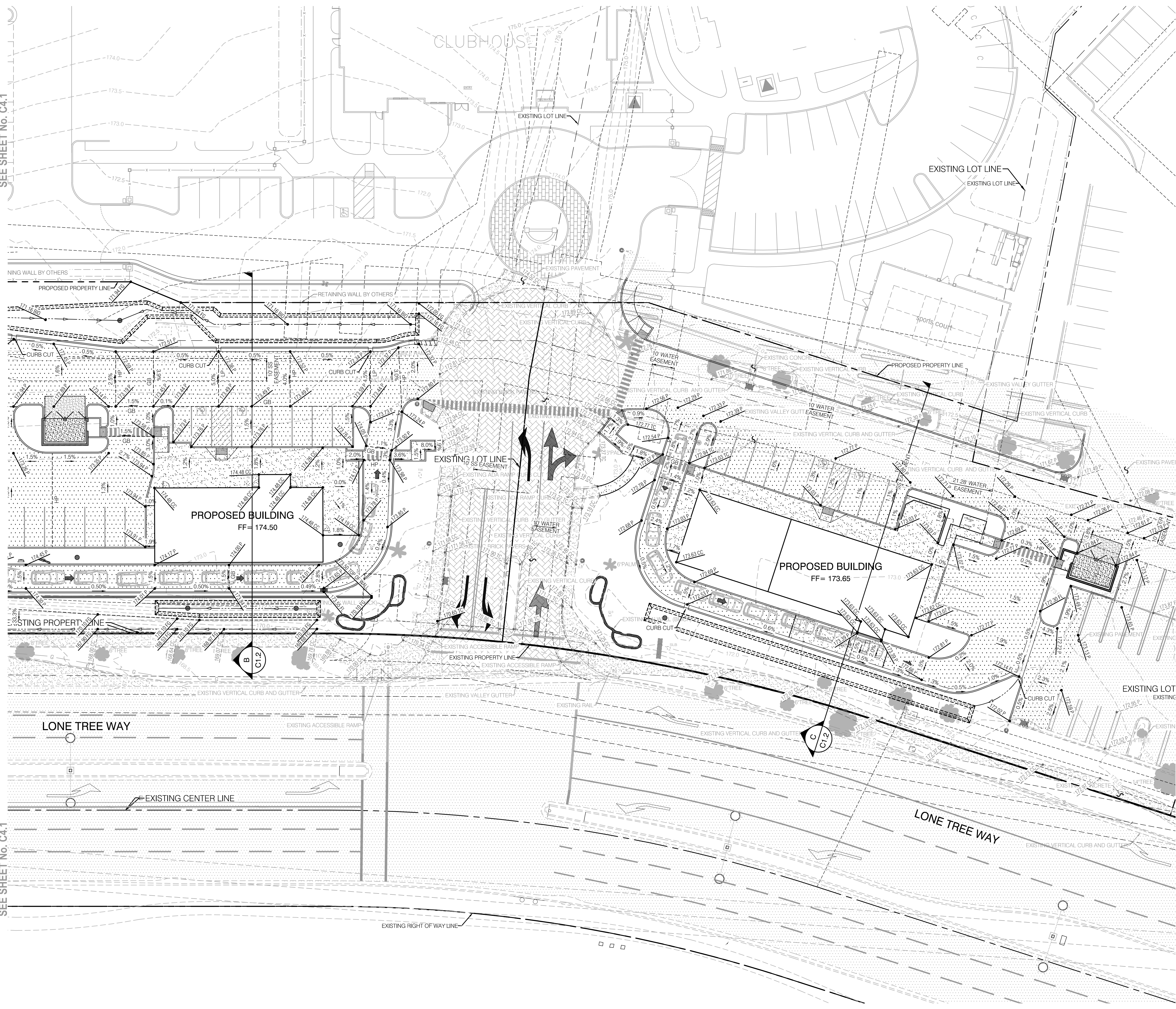
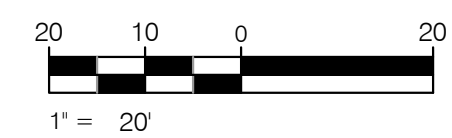
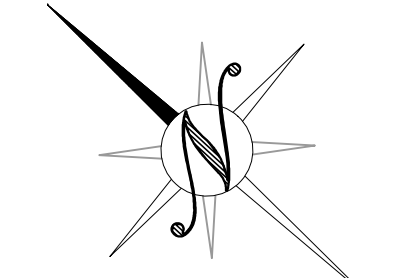
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SEE SHEET No. C4.1

SEE SHEET No. C4.1

DATE: 05/13/2024
DRAWN: CIG/EVL
DESIGN: CIG/TG
CHKD: CIG

CLUBHOUSE



ESTIMATE OF RAW EARTHWORK

SITE	EXCAVATION C.Y.	EMBANKMENT C.Y.
	RAW CUT	RAW FILL
EARTHWORK	1,977	1,169

ESTIMATE OF ADJUSTED EARTHWORK

SITE	EXCAVATION C.Y.	EMBANKMENT C.Y.
	ADJUSTED CUT	ADJUSTED FILL
EARTHWORK	1,540	1,603
ADJUSTMENTS ASSUMED		0.20' STRIPPING

GRADING NOTES

- ADJUSTED EARTHWORK QUANTITIES ARE PROVIDED TO VERIFY THE PROPOSED GRADING DESIGN AND ARE FOR REFERENCE PURPOSES ONLY. THE QUANTITIES SHOWN ARE RAW VALUES AND DO NOT ACCOUNT FOR TRENCH SPOILS, SUBSIDENCE, SHRINKAGE, EXPORT, OR ANY OTHER ADJUSTMENT FACTORS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ADJUST THE QUANTITIES AS APPROPRIATE FOR BIDDING AND CONSTRUCTION PURPOSES. THE CUT AND FILL QUANTITIES SHOWN INDICATE A THEORETICAL YARDAGE FIGURE AND ARE GIVEN ONLY AS A CONVENIENCE TO THE CONTRACTOR. IF IT APPEARS THERE WILL BE AN EXCESS OR SHORTAGE OF MATERIAL, THE CONTRACTOR MAY NOTIFY THE ENGINEER TO DETERMINE IF POSSIBLE GRADE ADJUSTMENTS CAN BE MADE.
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HATCH LEGEND

	EXISTING PAVEMENT		EXISTING CONCRETE
	PROPOSED PAVEMENT		PROPOSED CONCRETE



NO.	REVISIONS	DATE	APPROVED

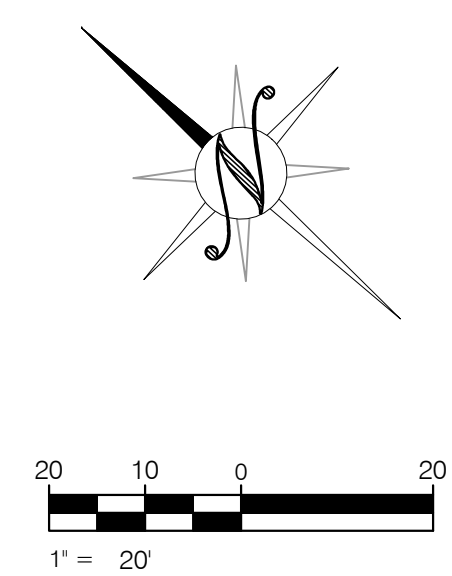
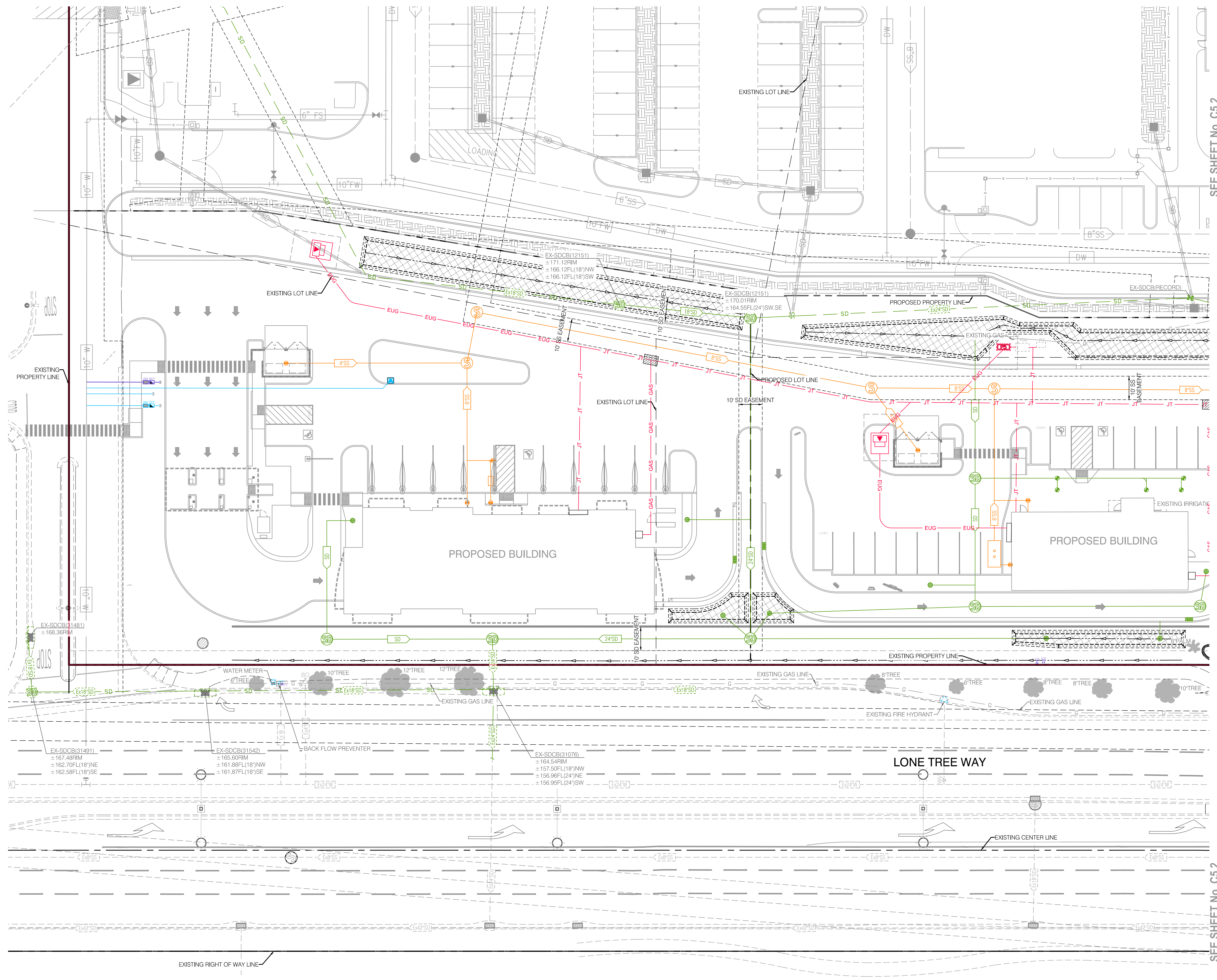
GRADING AND DRAINAGE PLAN
CONCEPTUAL PLANNING PLANS FOR
ANTIOCH RETAIL
 CALIFORNIA
 ANTIOCH

Northstar
Engineering Group, Inc.
 CIVIL ENGINEERING • SURVEYING • PLANNING
 6020 12th Street
 Modesto, CA 95354
 (209) 524-3225 Phone (209) 524-3226 Fax

JOB #: 23-3273
 DATE: 05/13/2024
 SCALE: AS SHOWN
 DRAWN: CIG/EVL
 DESIGN: CIG/TG
 CHKD: CIG

SHEET NUMBER

C4.2



SEE SHEET No. C5.2

SEE SHEET No. C5.2



NO.	REVISIONS	DATE	APPROVED

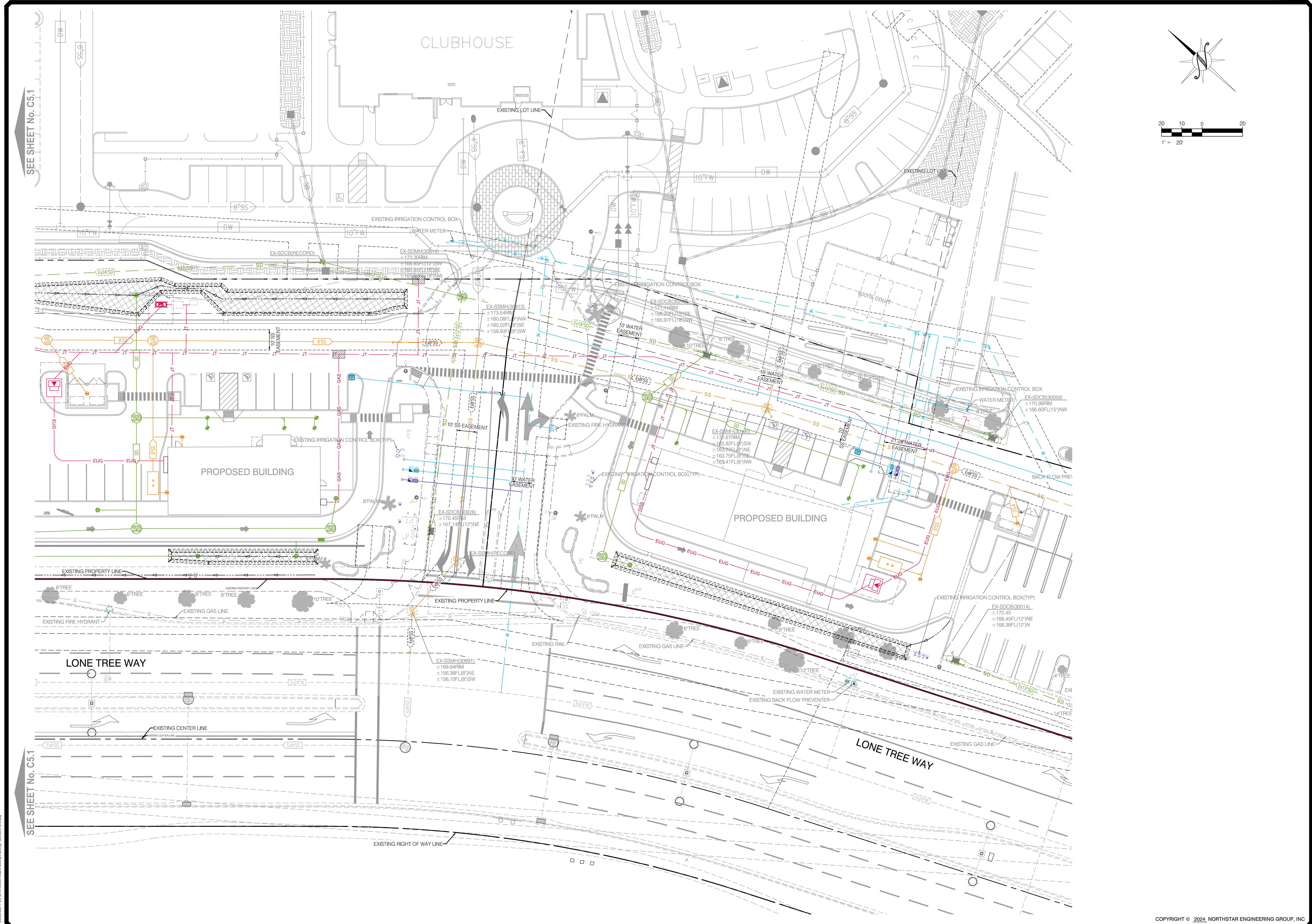
COMPOSITE UTILITY PLAN AND
STORMWATER QUALITY PLAN
CONCEPTUAL PLANNING PLANS FOR
ANTIOCH RETAIL
ANTIOCH, CALIFORNIA



JOB #:	23-3273
DATE:	05/13/2024
SCALE:	AS SHOWN
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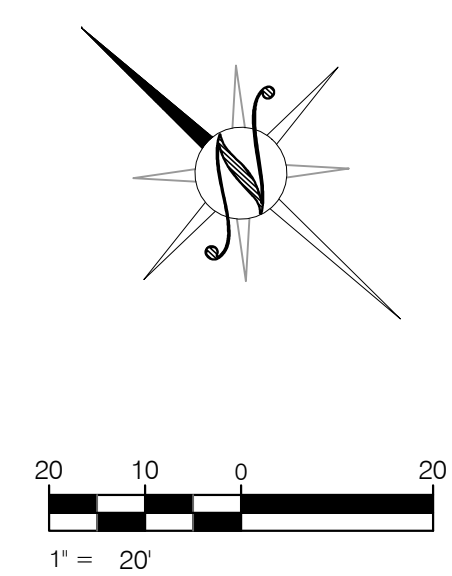
SHEET NUMBER

C5.1



SEE SHEET No. C5.1

SEE SHEET No. C5.1



NO.	REVISIONS	DATE	APPROVED

COMPOSITE UTILITY PLAN AND
 STORMWATER QUALITY PLAN
 CONCEPTUAL PLANNING PLANS FOR
 ANTIPOCH RETAIL
 ANTIPOCH, CALIFORNIA



JOB #:	23-3273
DATE:	05/13/2024
SCALE:	AS SHOWN
DRAWN:	CIG/EVL
DESIGN:	CIG/TG
CHKD:	CIG

SHEET NUMBER

C5.2

NOTES TO USERS

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size. The community map repository should be consulted for possible updated or additional flood hazard information.

To obtain more detailed information in areas where **Base Flood Elevations (BFEs)** and/or **floodways** have been determined, users are encouraged to consult the Flood Profiles and Floodway Data and/or Summary of Stillwater Elevations tables contained within the Flood Insurance Study report that accompanies this FIRM. Users should be aware that BFEs shown on the FIRM represent rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be utilized in conjunction with the FIRM for purposes of construction and/or floodplain management.

Coastal Base Flood Elevations shown on this map apply only landward of 0.0' North American Vertical Datum of 1988 (NAVD 88). Users of this FIRM should be aware that coastal flood elevations are also provided in the Summary of Stillwater Elevations tables in the Flood Insurance Study report for this jurisdiction. Elevations shown in the Summary of Stillwater Elevations tables should be used for construction and/or floodplain management purposes when they are higher than the elevations shown on this FIRM.

Boundaries of the **floodways** were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by **flood control structures**. Refer to Section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures for this jurisdiction.

The **projection** used in the preparation of this map was Universal Transverse Mercator (UTM) zone 10. The **horizontal datum** was NAD 83, GRS80 spheroid. Differences in datum, spheroid, projection or UTM zones used in the production of FIRMs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of this FIRM.

Flood elevations on this map are referenced to the North American Vertical Datum of 1988. These flood elevations must be compared to structure and ground elevations referenced to the same **vertical datum**. For information regarding conversion between the National Geodetic Vertical Datum of 1929 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at <http://www.ngs.noaa.gov> or contact the National Geodetic Survey at the following address:

NGS Information Services
NOAA, NNGS12
National Geodetic Survey
SSIMC-3, #6202
1315 East-West Highway
Silver Spring, Maryland 20910-3282
(301) 713-3242

To obtain current elevation, description, and/or location information for **bench marks** shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (301) 713-3242, or visit its website at <http://www.ngs.noaa.gov>.

Base map information shown on this FIRM was provided in digital format by the USDA National Agriculture Imagery Program (NAIP). This information was photogrammetrically compiled at a scale of 1:24,000 from aerial photography dated 2005.

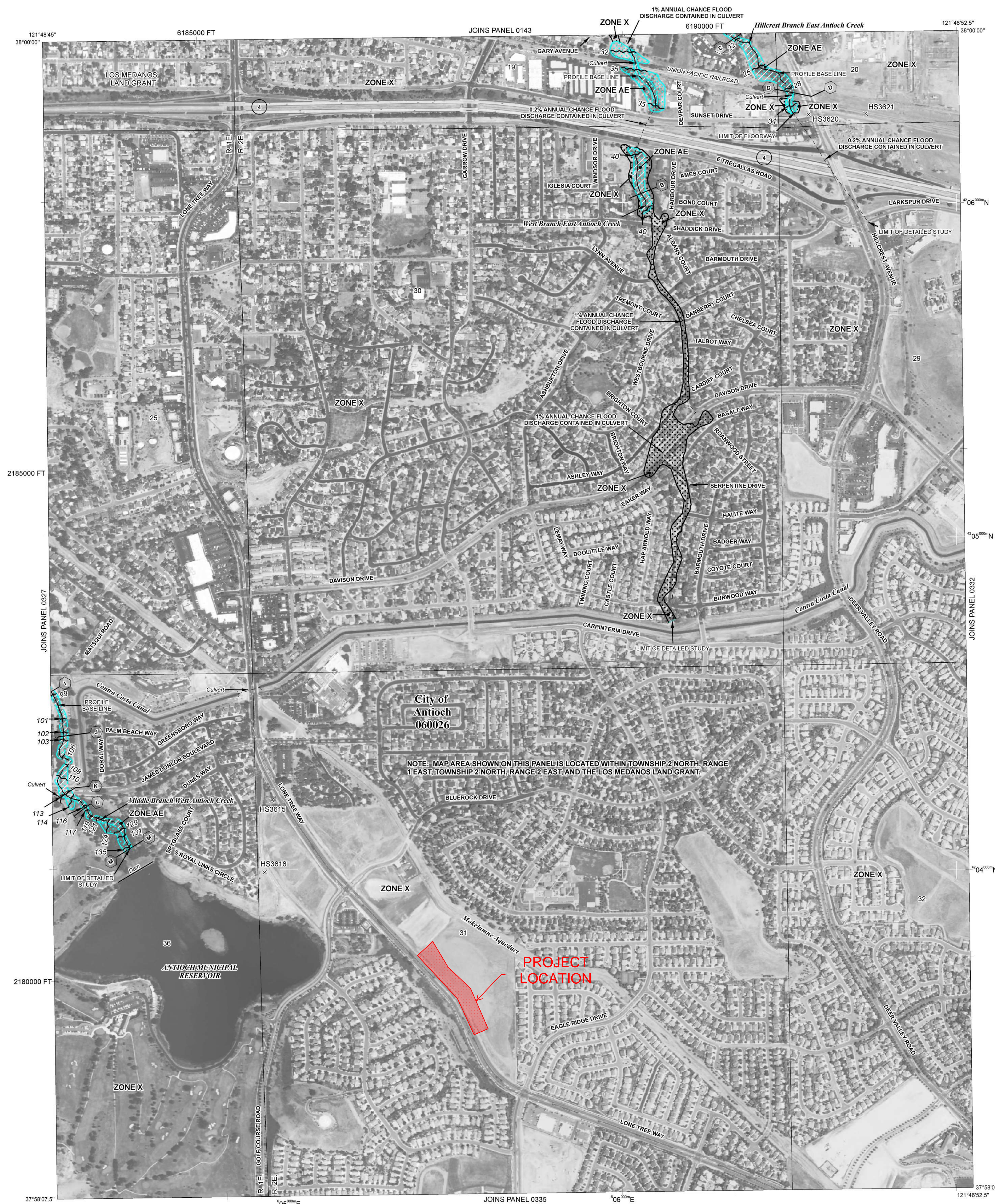
This map reflects more detailed and up-to-date **stream channel configurations** than those shown on the previous FIRM for this jurisdiction. The floodplains and floodways that were transferred from the previous FIRM may have been adjusted to conform to these new stream channel configurations. As a result, the Flood Profiles and Floodway Data in the Flood Insurance Study Report (which contains authoritative hydraulic data) may reflect stream channel distances that differ from what is shown on this map.

Corporate limits shown on this map are based on the best data available at the time of publication. Because changes due to annexations or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

Please refer to the separately printed **Map Index** for an overview map of the county showing the layout of map panels, community map repository addresses, and a Listing of Communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

Contact the **FEMA Map Service Center** at 1-800-358-9616 for information on available products associated with this FIRM. Available products may include previously issued Letters of Map Change, a Flood Insurance Study report, and/or digital versions of this map. The FEMA Map Service Center may also be reached by Fax at 1-800-358-9620 and its website at <http://msc.fema.gov>.

If you have **questions about this map** or questions concerning the National Flood Insurance Program in general, please call 1-877-FEMA MAP (1-877-336-2627) or visit the FEMA website at <http://www.fema.gov>.



LEGEND

SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD

The 1% annual flood (100-year flood), also known as the base flood, is the flood that has a 1% chance of being equaled or exceeded in any given year. The Special Flood Hazard Area is the area subject to flooding by the 1% annual chance flood. Areas of Special Flood Hazard include Zones A, AE, AH, AO, AR, A99, V, and VE. The Base Flood Elevation is the water-surface elevation of the 1% annual chance flood.

ZONE A No Base Flood Elevations determined.

ZONE AE Base Flood Elevations determined.

ZONE AH Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.

ZONE AO Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of alluvial fan flooding, velocities also determined.

ZONE AR Special Flood Hazard Area formerly protected from the 1% annual chance flood by a flood control system that was subsequently destroyed. Zone AR indicates that the former flood control system is being restored to provide protection from the 1% annual chance or greater flood.

ZONE A99 Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.

ZONE V Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.

ZONE VE Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.

FLOODWAY AREAS IN ZONE AE

The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachment so that the 1% annual chance flood can be carried without substantial increases in flood heights.

OTHER FLOOD AREAS

ZONE X Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

OTHER AREAS

ZONE X Areas determined to be outside the 0.2% annual chance floodplain.

ZONE D Areas in which flood hazards are undetermined, but possible.

COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS

OTHERWISE PROTECTED AREAS (OPAs)

CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.

1% annual chance floodplain boundary
0.2% annual chance floodplain boundary
Floodway boundary
Zone D boundary
CBRS and OPA boundary
Boundary dividing Special Flood Hazard Area zones and boundary dividing Special Flood Hazard Areas of different Base Flood Elevations, flood depths or flood velocities.
Base Flood Elevation line and value; elevation in feet*
Base Flood Elevation value where uniform within zone; elevation in feet*

* Referenced to the North American Vertical Datum of 1988

△ Cross section line
--- Transsect line
87°07'45" 32°22'30"
76°00'N
600000 FT
DX5510 x
● M1.5 River Mile

MAP REPOSITORY
Refer to listing of Map Repositories on Map Index
EFFECTIVE DATE OF COUNTYWIDE FLOOD INSURANCE RATE MAP
June 16, 2009
EFFECTIVE DATE(S) OF REVISION(S) TO THIS PANEL

For community map revision history prior to countywide mapping, refer to the Community Map History table located in the Flood Insurance Study report for this jurisdiction.

To determine if flood insurance is available in this community, contact your Insurance agent or call the National Flood Insurance Program at 1-800-638-6620.

MAP SCALE 1" = 500'
250 0 500 1000 FEET
150 0 150 300 METERS

NATIONAL FLOOD INSURANCE PROGRAM

PANEL 0331F

FIRM
FLOOD INSURANCE RATE MAP
CONTRA COSTA COUNTY, CALIFORNIA
AND INCORPORATED AREAS

PANEL 331 OF 602
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:
COMMUNITY NUMBER PANEL SUFFIX
ANTIOCH CITY OF 060026 0331 F

Notice to User: The Map Number shown below should be used when placing map orders, the Community Number shown above should be used on insurance applications for the subject community.

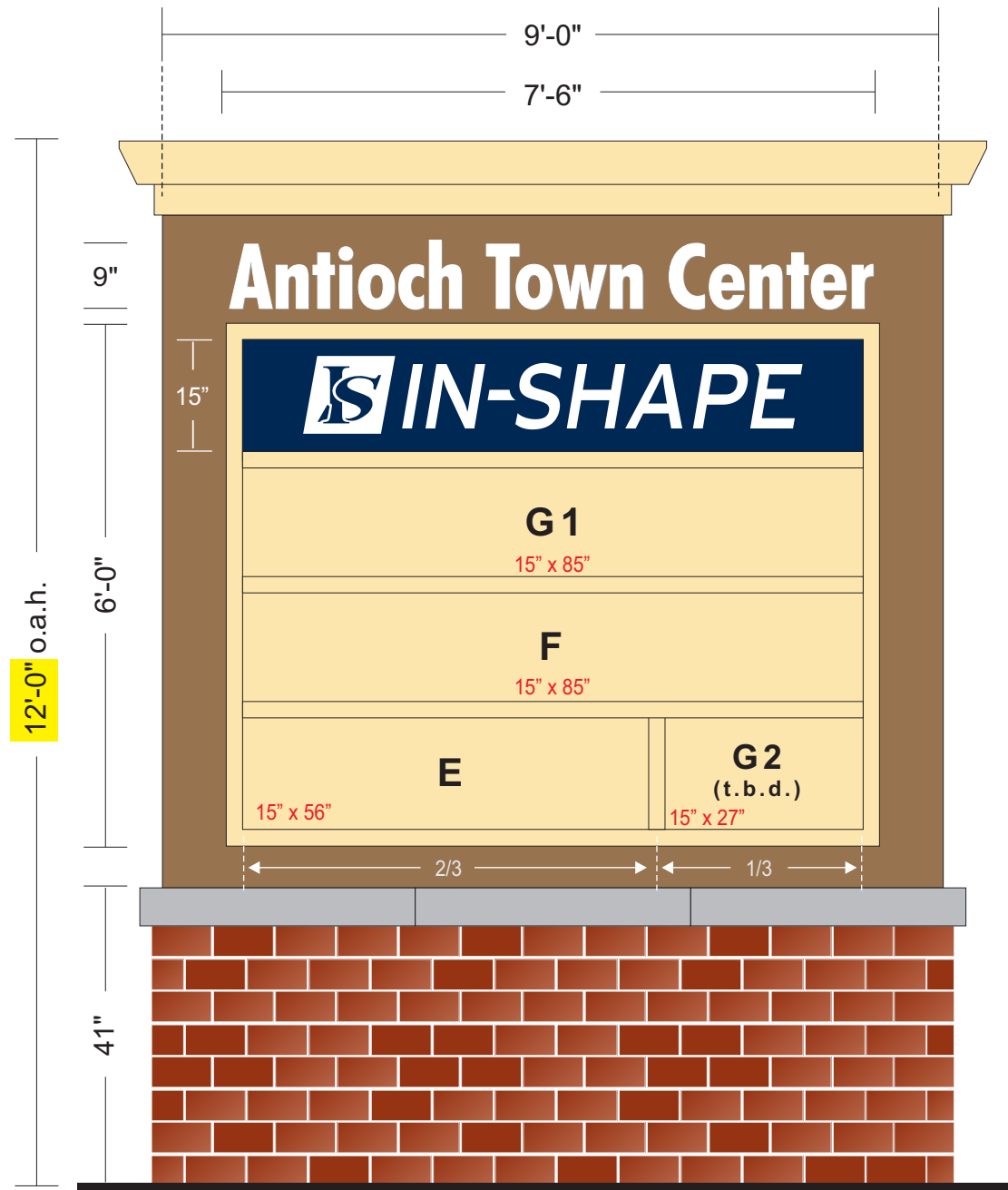
MAP NUMBER
06013C0331F

EFFECTIVE DATE
JUNE 16, 2009

Federal Emergency Management Agency

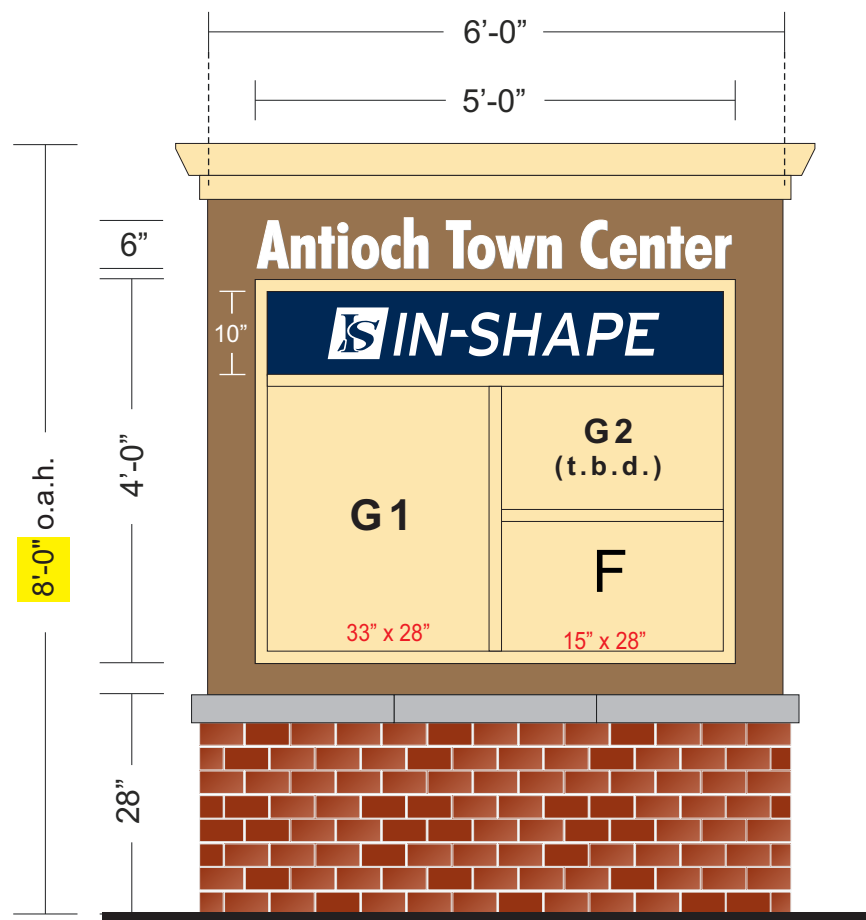
C6

12' o.a.h. (option 5)



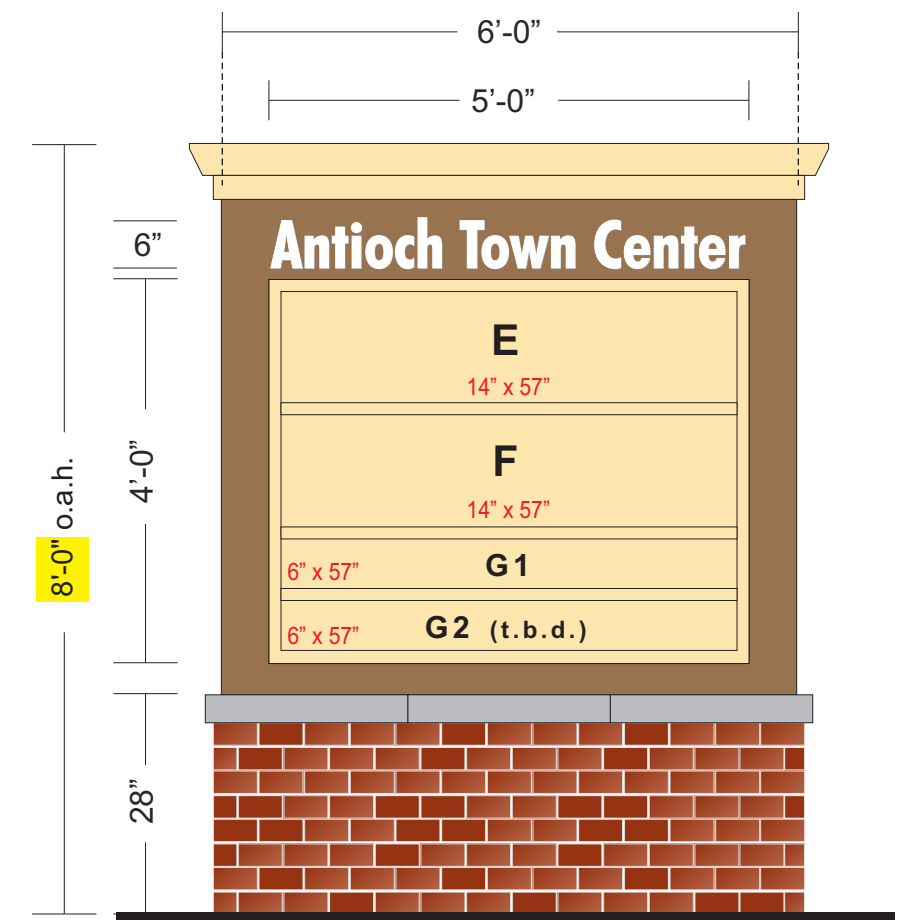
D/F Led Illum. ID/Multi-Tenant Mnmnt Sign

8' o.a.h. (option 4)



D/F Led Illum. ID/Multi-Tenant Mnmnt Sign

8' o.a.h. (option 6)



D/F Led Illum. ID/Multi-Tenant Mnmnt Sign

1) This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. 2) The location of the disconnect switch after installation shall comply with the Artical 600.6 (A)(1) of the National Electrical Code. 3) All work to be done IAW 2022, CBC, CEC, CFC Compliant.

<p>5201 Pentecost Drive Modesto, Calif. 95356 1-800-481-SIGN FAX (209) 543-1326 C.S.C.L. # 718965</p>	<p>JOB INFO</p> <p>JOB #: 000 CLIENT: ANTIOCH TOWN CENTER CONTACT: DATE: 9-20-23 PROJECT LOCATION: 4099 LONE TREE ANTIOCH, CA</p>	<p>SALESPERSON: DAMON RICHMOND DRAWN BY: BAM PAGE 2 OF 2</p> <p>CLIENT APPROVAL _____ DATE _____ LANDLORD APPROVAL _____ DATE _____</p>	<p>REVISIONS: 4-24-24 bam 4-25-24 bam 4-29-24 bam 5-14-24 bam 5-15-24 bam</p>	<p>SCALE: NOTED</p> <p>FILE NAME: ANTIOCH TOWN CENTER mnmnt x3 OPTS</p>	<p>ELECT.</p> <p>120 Volt <input type="checkbox"/> 277 Volt <input type="checkbox"/> Other <input type="checkbox"/></p> <p>one box above MUST be checked prior to any mfg.</p>	<p>SPECIFICATIONS</p> <p>See Drawing for Specifications</p>

This Design Layout is specific to 120 volt electrical power for approved illuminated signage. Any other voltage at job site that requires additional install trips will be an extra charge. Copyright 2000 USS United Sign Systems This artwork/design is sole property of USS United Sign Systems and cannot be reproduced without written permission of Johnson Sign Systems