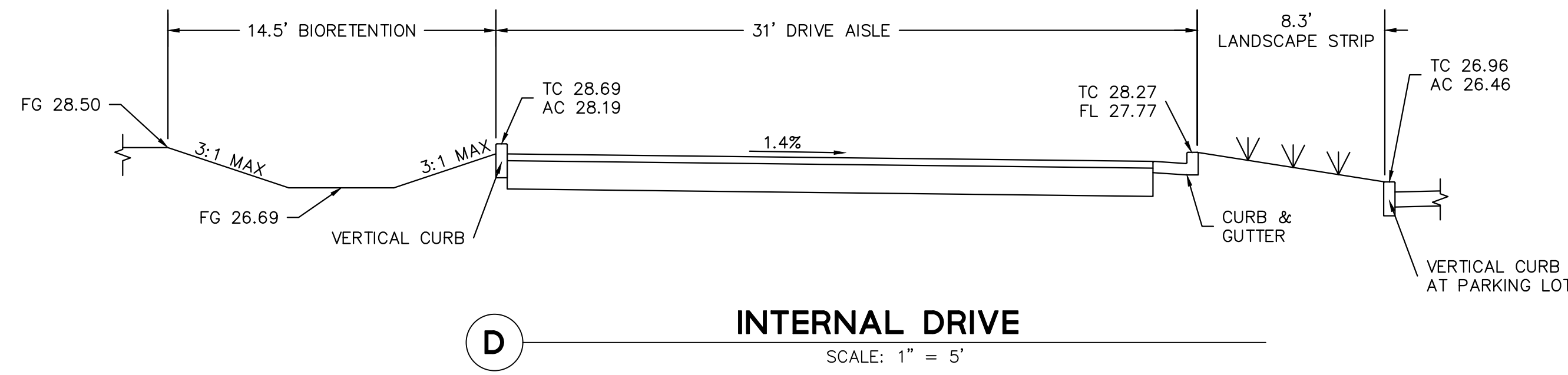
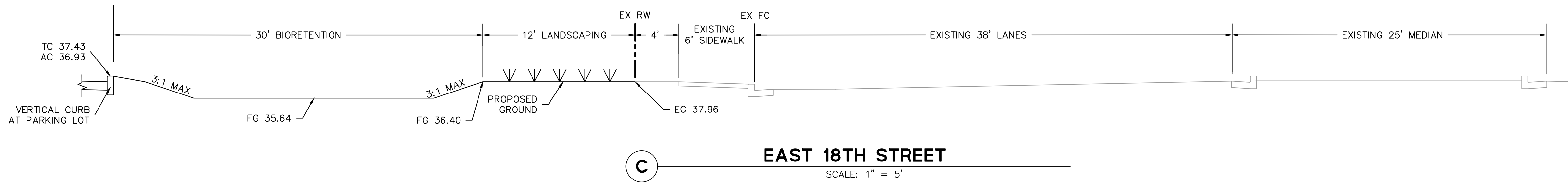
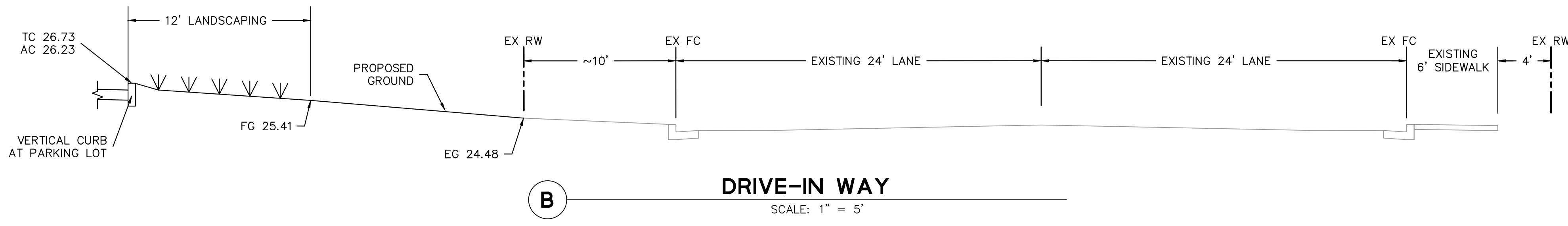
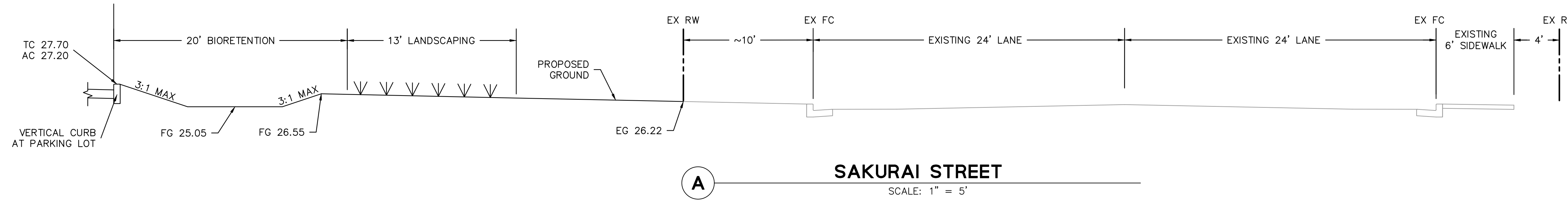


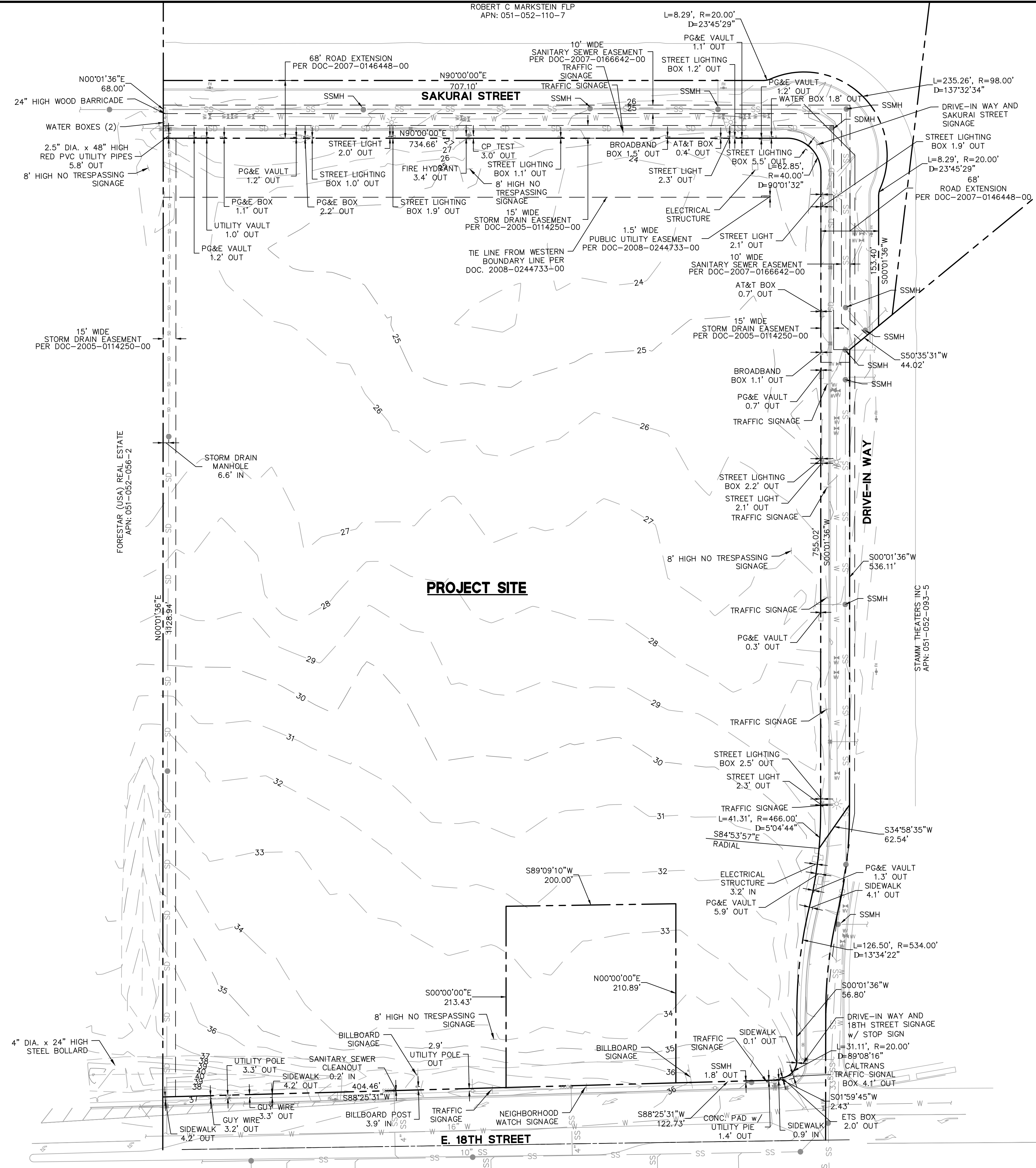
Revisions	No.	Date	By	Check



Know what's below.
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 User: jtm
 Date: 9/14/2018 10:00:00 AM

ROBERT C MARKSTEIN FLP
APN: 051-052-110-7



ABBREVIATIONS:

- AC ASPHALT CEMENT
- AD AREA DRAIN
- AWSS AUXILIARY WATER SUPPLY SYSTEM
- BDC BUILDING CORNER
- BLDG BUILDING
- BW BACK OF WALK
- CMU CONCRETE MASONRY UNIT
- CO CLEAN OUT
- CONC CONCRETE
- COR CORNER
- DI DRAIN INLET
- DIP DUCTILE IRON PIPE
- DW DOMESTIC WATER
- EX EXISTING
- FDC FIRE DEPARTMENT CONNECTION
- FG FUTURE GRADE
- FH FIRE HYDRANT
- FL FLOWLINE
- FW FIRE WATER
- G GAS
- GB GRADE BREAK
- PG&E PACIFIC GAS & ELECTRIC
- PM PARKING METER
- RCP REINFORCED CONCRETE PIPE
- RET RETURN
- RIM ELEVATION
- SF SQUARE FEET
- SLD SLOT DRAIN
- SW SIDEWALK
- T TREE
- TC TOP OF CURB
- TELE TELEPHONE
- TYP TYPICAL
- UB UTILITY BOX
- UNK UNKNOWN
- UPS UNITED PARCEL SERVICE
- UTIL UTILITY
- VCP VITRIFIED CLAY PIPE
- W WATER
- WM WATER METER
- WV WATER VALVE

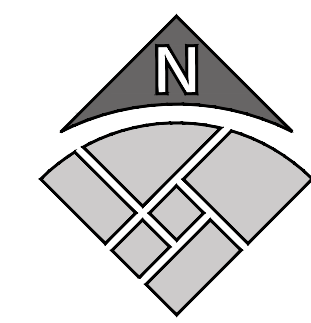
LEGEND:

- PROPERTY LINE
- SD STORM DRAIN PIPE
- SS SANITARY SEWER PIPE
- W WATER PIPE
- FIRE HYDRANT
- WATER VALVE
- CURB DRAIN INLET
- STORM DRAIN MANHOLE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- ☼ STREET LIGHT
- ◇ JOINT POLE
- ↑ GUY LINE



DEVELOPMENT PLANS FOR
ACORN BUSINESS PARK
ALTA SURVEY AND BOUNDARY

CITY OF ANTIOCH
CALIFORNIA



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Revisions	No.	Date	Scale	AS SHOWN	Design	Drawn	ADL/CN	Approved	JTM	Job No.
		09.14.2018								C2018009-10

Drawing Number: **CE-03**
3 OF 28

Revisions	No.	Date	By	Check

PARKING TABLE

LOT NUMBER	REQUIRED NUMBER OF SPACES			PROPOSED NUMBER OF SPACES			REQUIRED PARKING RATIO	PROPOSED PARKING RATIO
	ADA	STANDARD	E.V.	ADA	STANDARD	E.V.		
4-11	48	328	28	48	328	28	1 PER 300 SF	1 PER 300 SF

SURFACE IMPROVEMENTS LEGEND

- BIOTREATMENT AREA, SEE DETAIL 2/CE-13
- CONCRETE WALK
- LANDSCAPE

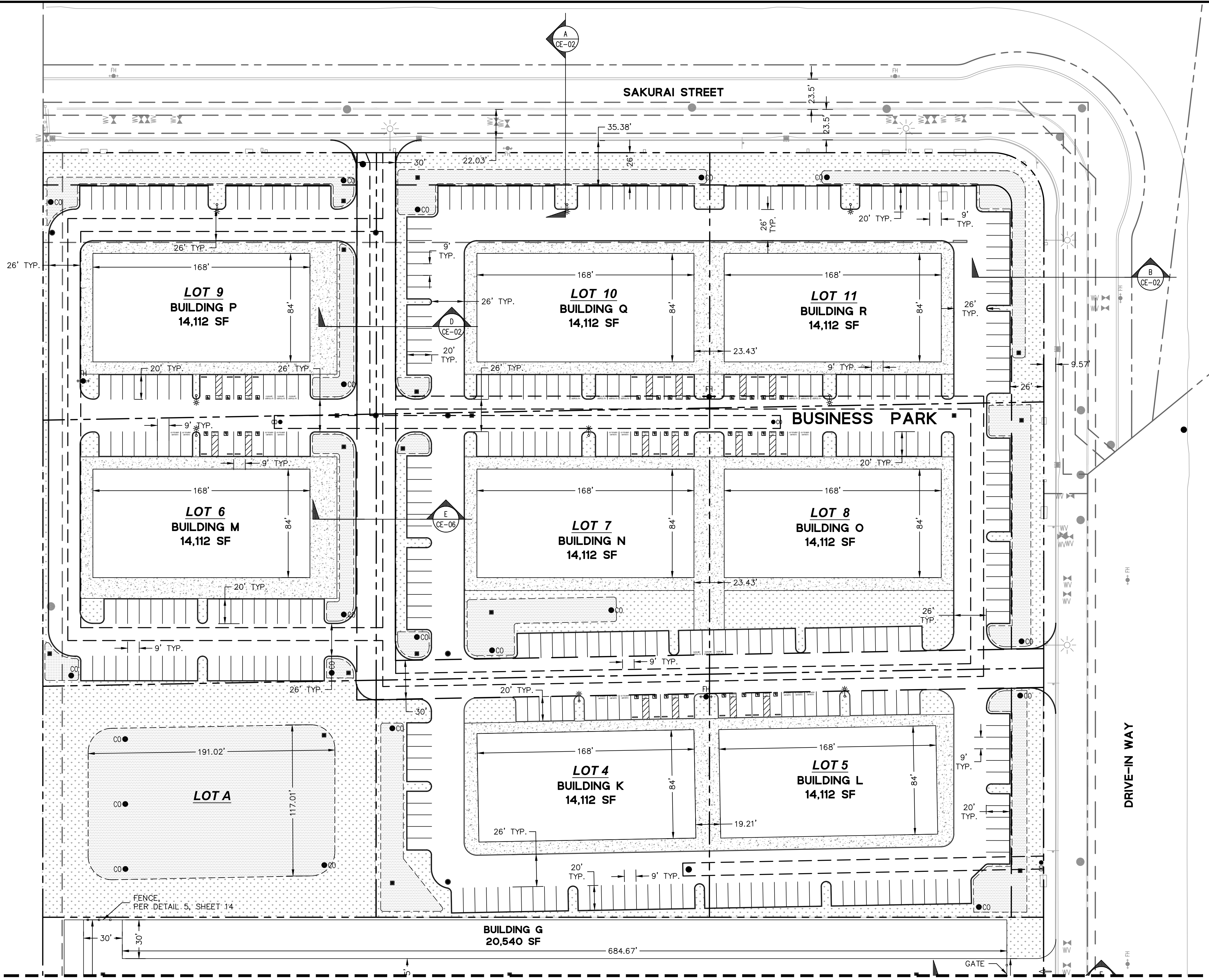
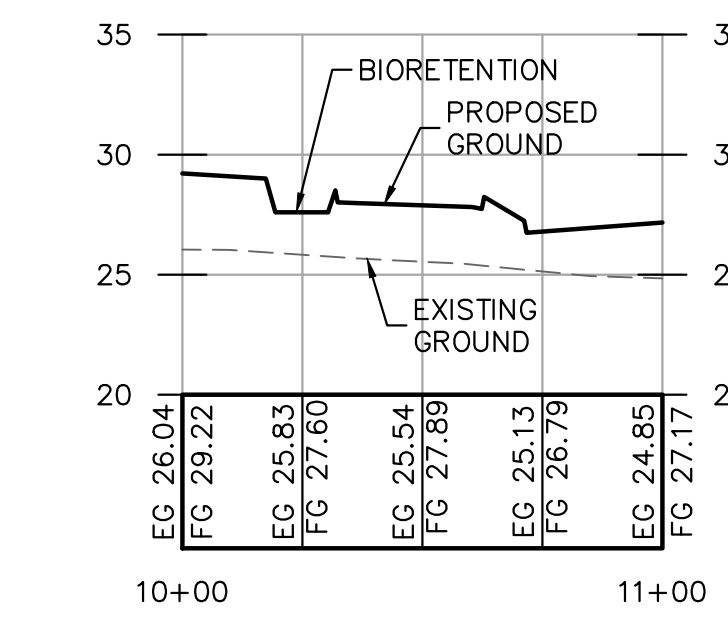
LOT COVERAGE

LOT NUMBER	% BUILDING COVERAGE	% LANDSCAPE / OPEN SPACE AREA	FLOOR AREA RATIO
1	11.2%	39.1%	39.9%
2	20.1%	30.3%	20.1%
3	57.7%	19.5%	57.7%
4	29.4%	28.8%	29.4%
5	28.6%	29.0%	28.6%
6	26.5%	31.8%	26.5%
7	26.5%	25.9%	26.5%
8	26.5%	33.5%	26.5%
9	26.7%	35.0%	26.7%
10	27.3%	29.9%	27.3%
11	28.1%	36.0%	28.1%
A	0%	100%	0%

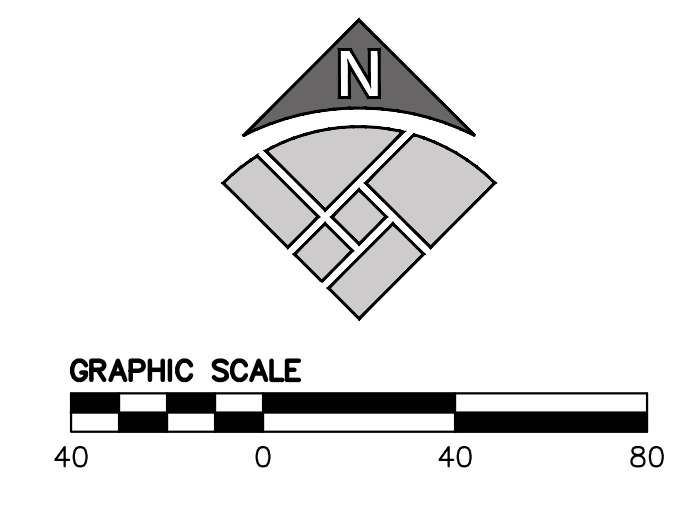
NOTE: PERCENTAGE OF LOT COVERAGE IS PERCENT OF NET LOT AREA COVERED BY BUILDINGS (TOTAL GROUND FLOOR AREA OF ALL BUILDINGS DIVIDED BY NET LOT AREA).

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- BIOTREATMENT LINE
- LIGHT POLE
- FIRE HYDRANT
- CLEANOUT
- STORMWATER CATCH BASIN
- MANHOLE

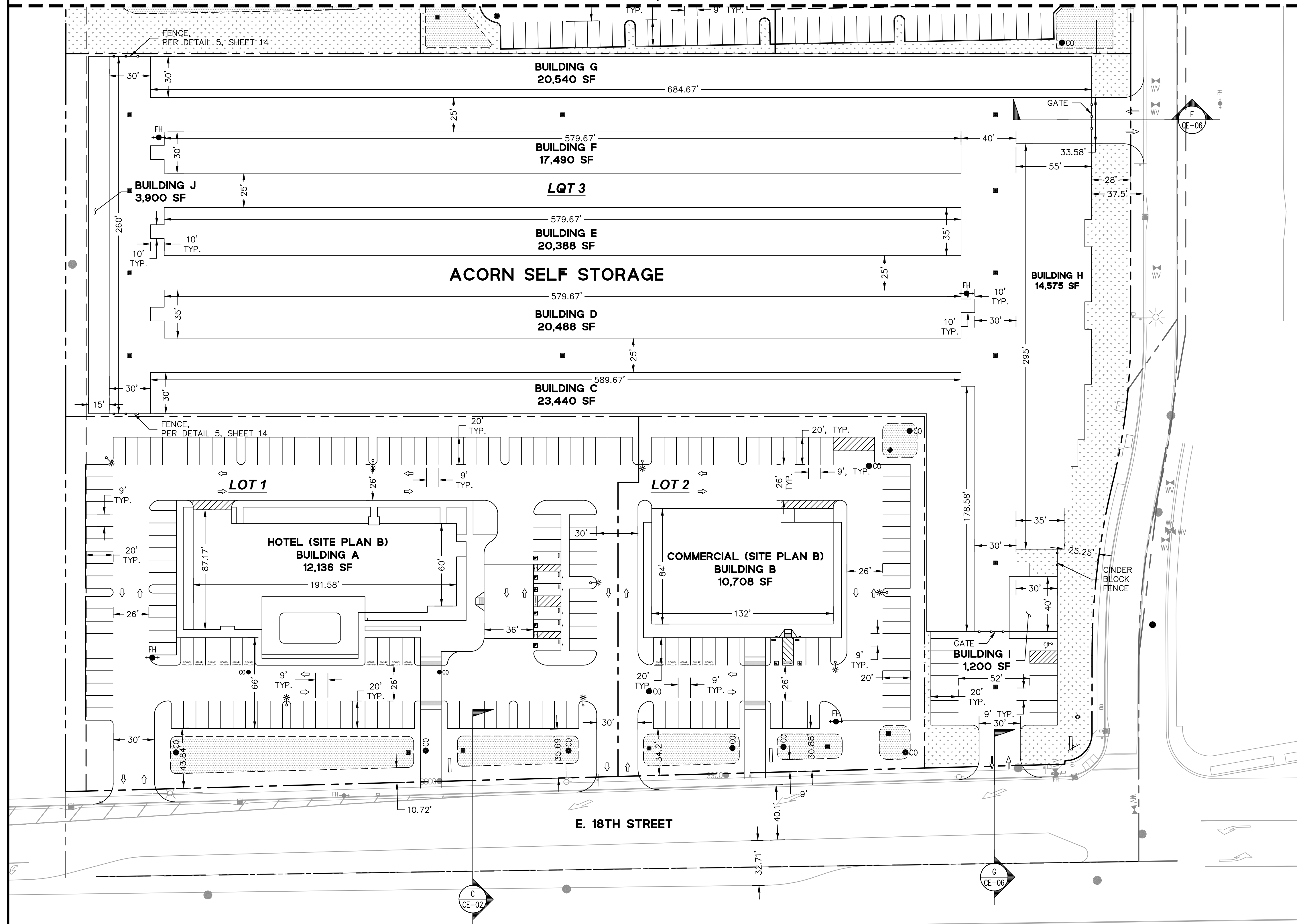


CONTINUATION LINE, SEE SHEET CE-06



DRAWN BY: ADL
 CHECKED BY: JTM
 DATE: 09/14/2018
 PROJECT: ACORN BUSINESS PARK

CONTINUATION LINE, SEE SHEET CE-05



PARKING TABLE

LOT NUMBER	REQUIRED NUMBER OF SPACES			PROPOSED NUMBER OF SPACES			REQUIRED PARKING RATIO	PROPOSED PARKING RATIO
	ADA	STANDARD	E.V.	ADA	STANDARD	E.V.		
1	6	113	10	6	119	10	1 PER ROOM+	1 PER ROOM+
2	4	54	6	4	66	6	5 PER 1000 SF	5 PER 1000 SF
3	2	6	0	1	12	0	1 PER 100 UNITS	1 PER 100 UNITS

SURFACE IMPROVEMENTS LEGEND

- BIOTREATMENT AREA, SEE DETAIL 2/CE-13
- CONCRETE WALK
- LANDSCAPE

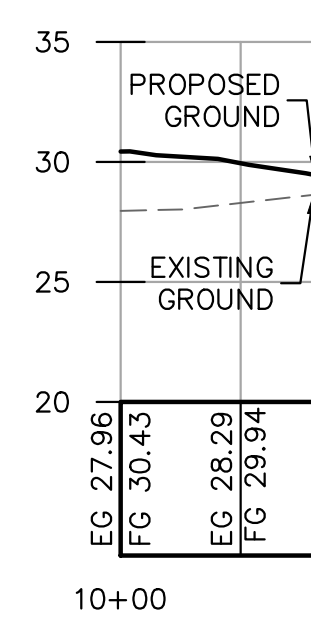
LOT COVERAGE

LOT NUMBER	% BUILDING COVERAGE	% LANDSCAPE / OPEN SPACE AREA	FLOOR AREA RATIO
1	11.2%	39.1%	39.9%
2	20.1%	30.3%	20.1%
3	57.7%	19.5%	57.7%
4	29.4%	28.8%	29.4%
5	28.6%	29.0%	28.6%
6	26.5%	31.8%	26.5%
7	26.5%	25.9%	26.5%
8	26.5%	33.5%	26.5%
9	26.7%	35.0%	26.7%
10	27.3%	29.9%	27.3%
11	28.1%	36.0%	28.1%
A	0%	100%	0%

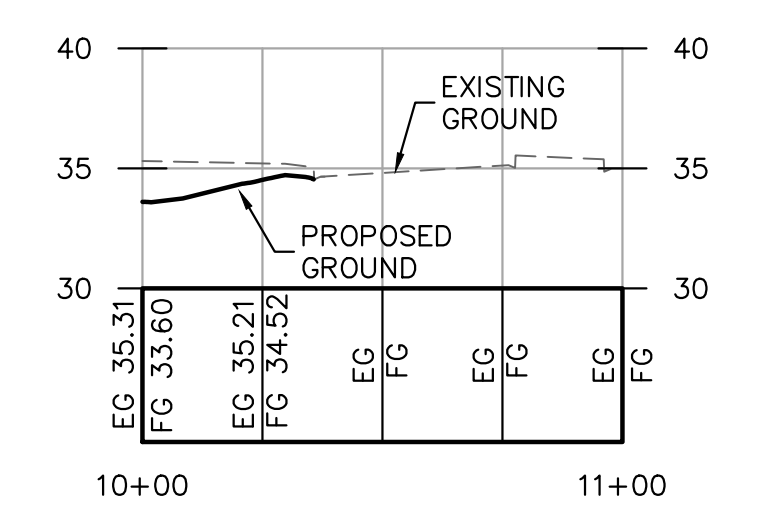
NOTE: PERCENTAGE OF LOT COVERAGE IS PERCENT OF NET LOT AREA COVERED BY BUILDINGS (TOTAL GROUND FLOOR AREA OF ALL BUILDINGS DIVIDED BY NET LOT AREA).

LEGEND

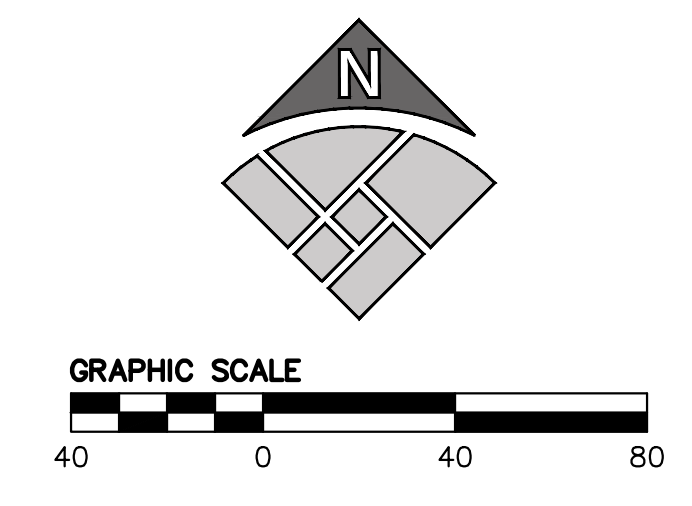
- PROPERTY LINE
- EASEMENT LINE
- BIOTREATMENT LINE
- LIGHT POLE
- FIRE HYDRANT
- CLEANOUT
- STORMWATER CATCH BASIN
- MANHOLE



SECTION F
SCALE: 1" = 20' HORIZ.
1" = 4' VERT.



SECTION G
SCALE: 1" = 20' HORIZ.
1" = 4' VERT.

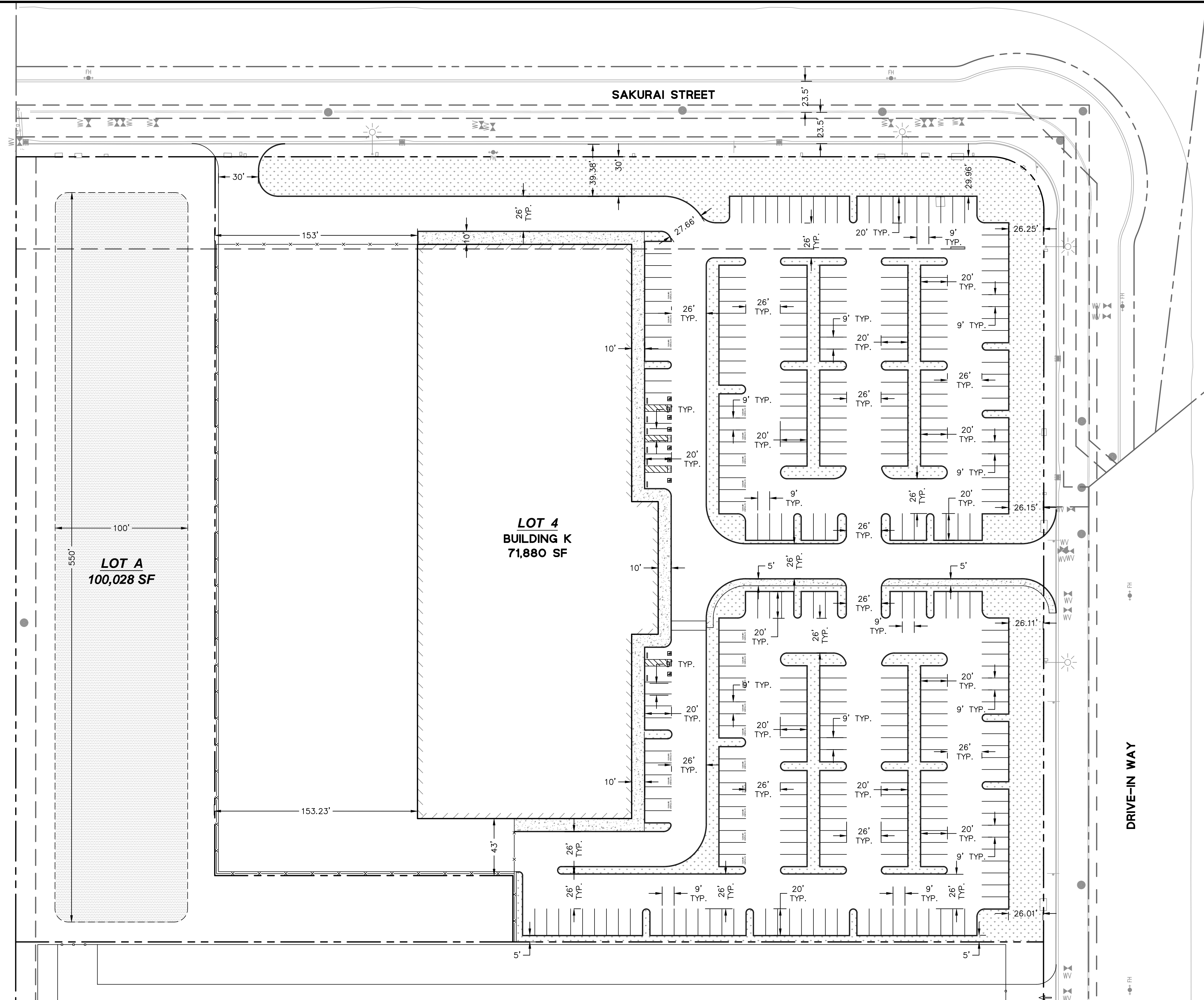


DEVELOPMENT PLANS FOR
ACORN BUSINESS PARK
SITE PLAN

CITY OF ANTIOCH
CALIFORNIA

Revisions

No.	Date	Description



CONTINUATION LINE, SEE SHEET CE-06

PARKING TABLE

LOT NUMBER	REQUIRED NUMBER OF SPACES			PROPOSED NUMBER OF SPACES			REQUIRED PARKING RATIO	PROPOSED PARKING RATIO
	ADA	STANDARD	E.V.	ADA	STANDARD	E.V.		
4	7	287	22	8	321	25	1 PER 300 SF	1 PER 300 SF

SURFACE IMPROVEMENTS LEGEND

- BIOTREATMENT AREA, SEE DETAIL 2/CE-13
- CONCRETE WALK
- LANDSCAPE

LOT COVERAGE

LOT NUMBER	% BUILDING COVERAGE	% LANDSCAPE / OPEN SPACE AREA	FLOOR AREA RATIO
4	20.1%	14.6%	20.1%
A	0%	100%	0%

NOTE: PERCENTAGE OF LOT COVERAGE IS PERCENT OF NET LOT AREA COVERED BY BUILDINGS (TOTAL GROUND FLOOR AREA OF ALL BUILDINGS DIVIDED BY NET LOT AREA).

LEGEND

- PROPERTY LINE
- EASEMENT LINE
- BIOTREATMENT LINE
- LIGHT POLE
- FIRE HYDRANT
- CLEANOUT
- STORMWATER CATCH BASIN
- MANHOLE

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DEVELOPMENT PLANS FOR
ACORN BUSINESS PARK
ALTERNATIVE SITE PLAN FOR SUBSECTION C
CITY OF ANTIOCH CALIFORNIA

Revisions	No.	Date	By	Check

811
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CONTINUATION LINE, SEE SHEET CE-07

ESTIMATE OF PROBABLE EARTHWORK QUANTITIES

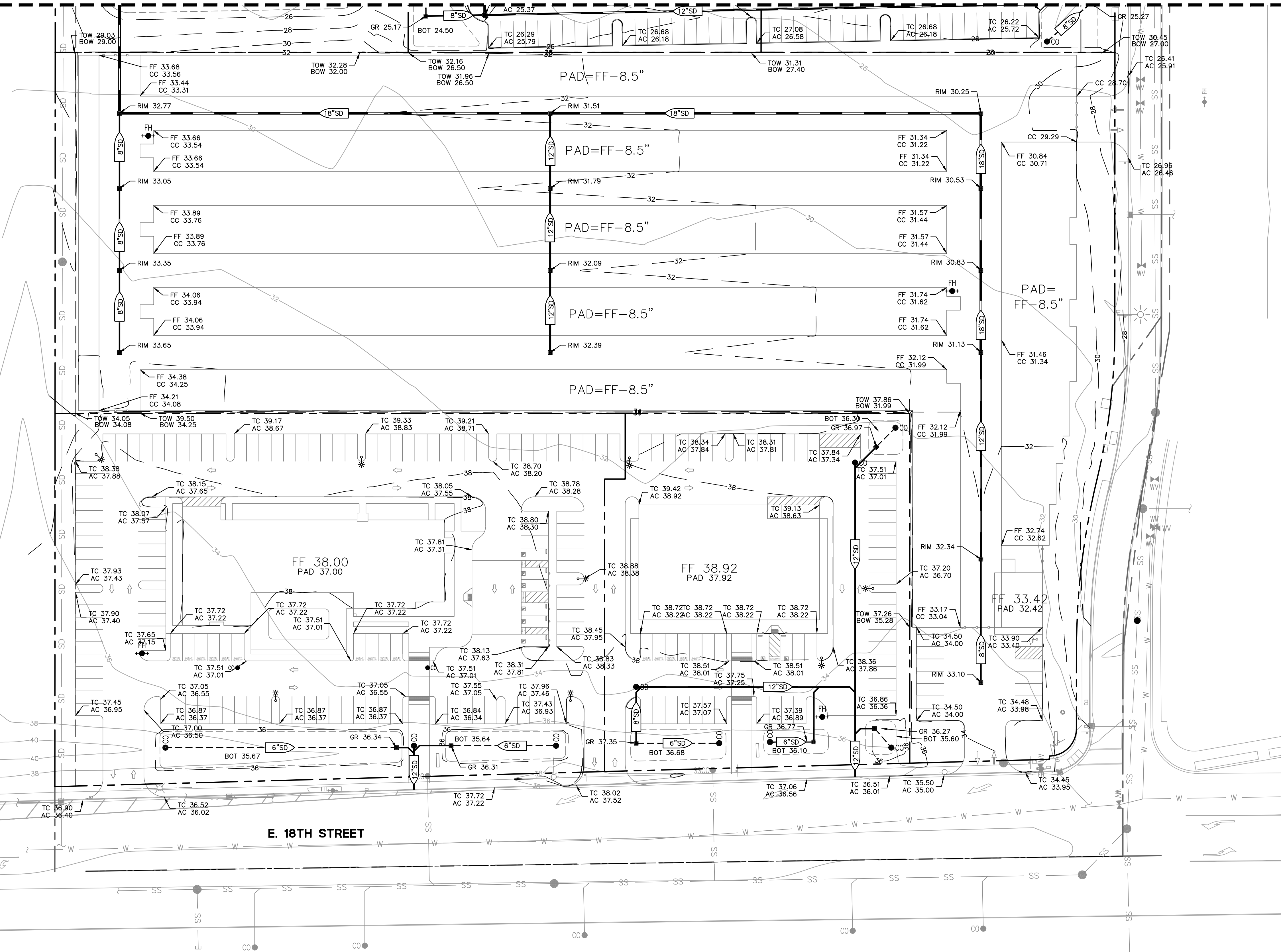
TOTAL CUT (SITE GRADING)	-8,775 CY
TOTAL FILL (SITE GRADING)	27,212 CY
NET FILL	18,437 CY

NOTE:
 1. EARTHWORK ESTIMATE ACCOUNTS FOR EXCAVATION FROM THE ESTIMATED EXISTING SURFACE ELEVATION TO PROPOSED SUBGRADE ELEVATION.

- UTILITY LEGEND:
- PROPERTY LINE
 - (X)SD--- STORM DRAIN PIPE
 - (X)SD--- PERFORATED STORM DRAIN PIPE
 - FH +●● FIRE HYDRANT
 - CURB DRAIN INLET
 - STORM DRAIN MANHOLE
 - SANITARY SEWER MANHOLE
 - CO● CLEANOUT
 - * STREET LIGHT

- GRADING LEGEND:
- 100— PROPOSED MAJOR CONTOUR
 - 99— PROPOSED MINOR CONTOUR
 - 100— EXISTING MAJOR CONTOUR
 - 99— EXISTING MINOR CONTOUR

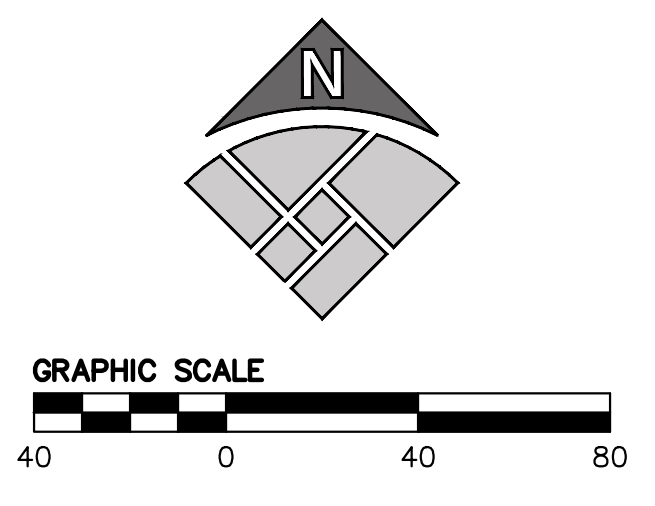
- ELEVATION LABEL:
- AC: ASPHALT CONCRETE
 - BOT: BOTTOM OF BASIN
 - BOW: BOTTOM OF WALL
 - CC: CONCRETE
 - FF: FINISHED FLOOR
 - GR: GRADE
 - PAD: BUILDING PAD
 - TC: TOP OF CURB
 - TOW: TOP OF WALL



E. 18TH STREET



DEVELOPMENT PLANS FOR
ACORN BUSINESS PARK
 PRELIMINARY GRADING AND DRAINAGE PLAN
 CITY OF ANTIOCH, CALIFORNIA



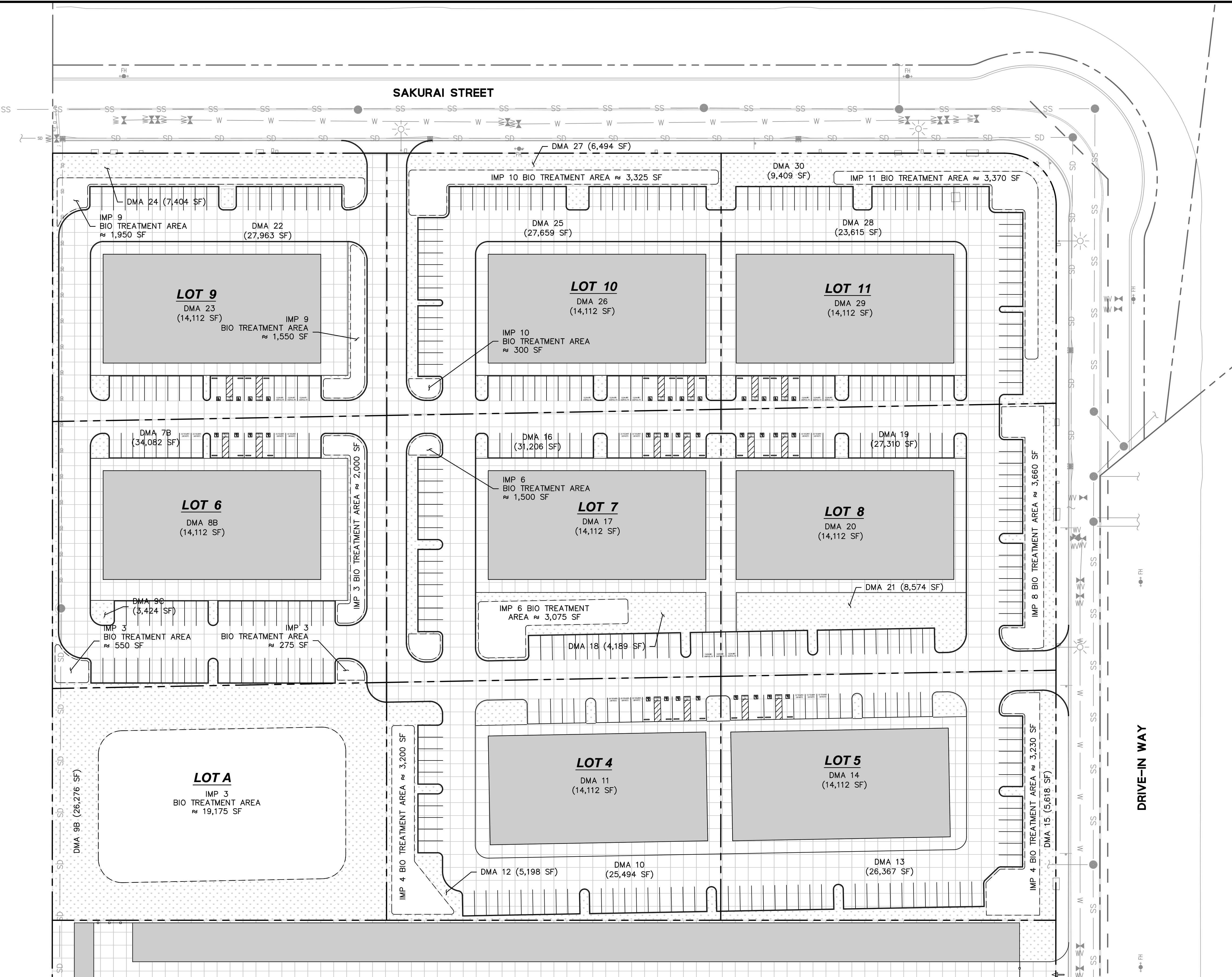
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No.	Revisions

Date: 09.14.2018
 Scale: AS SHOWN
 Design: CLM
 Drawn: ADL/CN
 Approved: JTM
 Job No: C2018009-10

Drawing Number:
CE-09
 9 OF 28

PROJECT NAME: ACORN BUSINESS PARK PRELIMINARY GRADING AND DRAINAGE PLAN
 DRAWN BY: ADL/CN
 CHECKED BY: JTM
 DATE: 09/14/2018



CONTINUATION LINE, SEE SHEET CE-10

PRE-IMPROVEMENT					
PROJECT SITE AREA:		860,299	(ft)2		
PERVIOUS AREAS:			IMPERVIOUS AREAS:		
DESCRIPTION	AREA	UNITS	DESCRIPTION	AREA	UNITS
UNDEVELOPED/LANDSCAPE	860,299	(ft)2	ROOF + PAVED AREA'S	0	(ft)2
TOTAL	860,299	(ft)2	TOTAL	0	(ft)2
POST-IMPROVEMENT					
PROJECT SITE AREA:		860,299	(ft)2	% IMPERVIOUS AREA INCREASE	
PERVIOUS AREAS:				79.3%	
DESCRIPTION	AREA	UNITS	DESCRIPTION	AREA	UNITS
LANDSCAPE + PERVIOUS PAVEMENT + BIORETENTION AREAS	178,091	(ft)2	ROOF + PAVED AREAS	682,208	(ft)2
TOTAL	178,091	(ft)2	TOTAL	682,208	(ft)2

- C.3 STORMWATER MANAGEMENT EXHIBIT NOTES:
- THIS PROJECT IS REGULATED BY THE MUNICIPAL REGIONAL STORMWATER NPDES PERMIT, ORDER NO. R2-2015-0049 DATED NOVEMBER 19, 2015. CALCULATIONS ARE BASED ON THE CONTRA COSTA CLEAN WATER PROGRAMS "STORMWATER C.3 GUIDEBOOK" 7TH EDITION MAY 17, 2017 (GUIDEBOOK).
 - THE PROJECT TOTAL SITE AREA IS 19.75 ACRES AND THE TOTAL AREA OF LAND DISTURBED IS 19.75 ACRES.
 - THIS PROJECT PROPOSES TO REDUCE IMPERVIOUS SURFACE AREA BY 682,208 SQUARE FEET AND WILL REPLACE 682,208 SQUARE FEET OF EXISTING IMPERVIOUS SURFACE AREA. THE TOTAL PRE-PROJECT IMPERVIOUS SURFACE AREA IS 860,299 SQUARE FEET. THE TOTAL POST-PROJECT IMPERVIOUS SURFACE AREA IS 71,152 SQUARE FEET.
 - PROVISION C.3 PROJECT REQUIREMENTS INCLUDE: NEW/REDEVELOPED AREA SUBJECT TO STORMWATER TREATMENT AND FLOW CONTROL.
 - COMPLIANCE WITH FLOW CONTROL REQUIREMENTS ARE MET THROUGH: OPTION 2 : INTEGRATED MANAGEMENT PRACTICES PER THE GUIDEBOOK.
 - DESIGN CRITERIA
 - MEAN ANNUAL PRECIPITATION = 12.5 INCHES PER HOUR CCCPDW MEAN SEASONAL ISOHYETS, FIGURE B-166
 - SOIL GROUP A
 - HYDRAULIC DESIGN CRITERIA: 0.2 INCHES PER HOUR RAINFALL INTENSITY
 - BIORETENTION SOIL LOADING RATE: 5 INCHES PER HOUR
 - BIORETENTION SOIL MIX PER APPENDIX B OF THE GUIDEBOOK
 - THE PROJECT SITE IS DELINEATED INTO 30 DRAINAGE MANAGEMENT AREAS (DMAS) AS SHOWN ON THIS SHEET. DATA OUTPUT FROM THE CONTRA COSTA CLEAN WATER PROGRAM IMP SIZING CALCULATOR IS INCLUDED ON SHEET CE-11.
 - THE ESTIMATED AREA OF DISTURBANCE DURING CONSTRUCTION IS 860,299 SF.

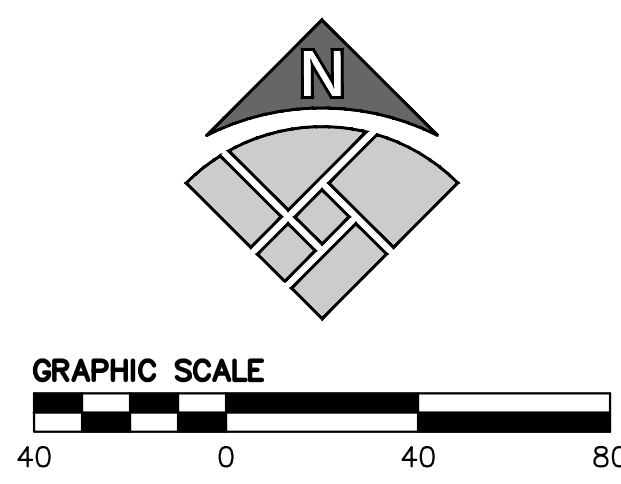
STORM QUALITY SUMMARY TABLE

LOT NUMBER	IMP NUMBER	DMA NAME (SURFACE TYPE)	TOTAL DMA AREA (SF)	REQUIRED IMP SIZE (SF)	PROPOSED IMP SIZE (SF)
1	1	DMA 1 (AC/CONC)	64,218	4,978	6,170
		DMA 2 (ROOF)	12,136		
		DMA 3 (LANDSCAPE)	25,674		
2	2	DMA 4 (AC/CONC)	32,673	2,800	3,500
		DMA 5 (ROOF)	10,708		
		DMA 6 (LANDSCAPE)	10,127		
3/6/A	3	DMA 7 (AC/CONC)	132,793	17,248	22,000
		DMA 8 (ROOF)	136,095		
		DMA 9 (LANDSCAPE)	45,870		
4	4	DMA 10 (AC/CONC)	25,494	2,531	3,150
		DMA 11 (ROOF)	14,112		
		DMA 12 (LANDSCAPE)	5,198		
5	5	DMA 13 (AC/CONC)	26,367	2,588	3,201
		DMA 14 (ROOF)	14,112		
		DMA 15 (LANDSCAPE)	5,616		
7	6	DMA 16 (AC/CONC)	31,206	2,885	3,650
		DMA 17 (ROOF)	14,112		
		DMA 18 (LANDSCAPE)	4,189		
8	7	DMA 19 (AC/CONC)	27,310	2,667	3,300
		DMA 20 (ROOF)	14,112		
		DMA 21 (LANDSCAPE)	857		
9	8	DMA 22 (AC/CONC)	27,963	2,700	3,350
		DMA 23 (ROOF)	14,112		
		DMA 24 (LANDSCAPE)	740		
10	9	DMA 25 (AC/CONC)	27,659	2,675	3,350
		DMA 26 (ROOF)	14,112		
		DMA 27 (LANDSCAPE)	6,494		
11	10	DMA 28 (AC/CONC)	23,615	2,439	3,050
		DMA 29 (ROOF)	14,112		
		DMA 30 (LANDSCAPE)	9,409		

* NOTE: THE LETTERS (A,B,C) FOLLOWING THE DMA NUMBER IN PLAN VIEW DENOTE A PORTION OF THE TOTAL DMA.

STORM WATER LEGEND

- ROOF AREA
- HARDSCAPE AREA
- LANDSCAPE AREA



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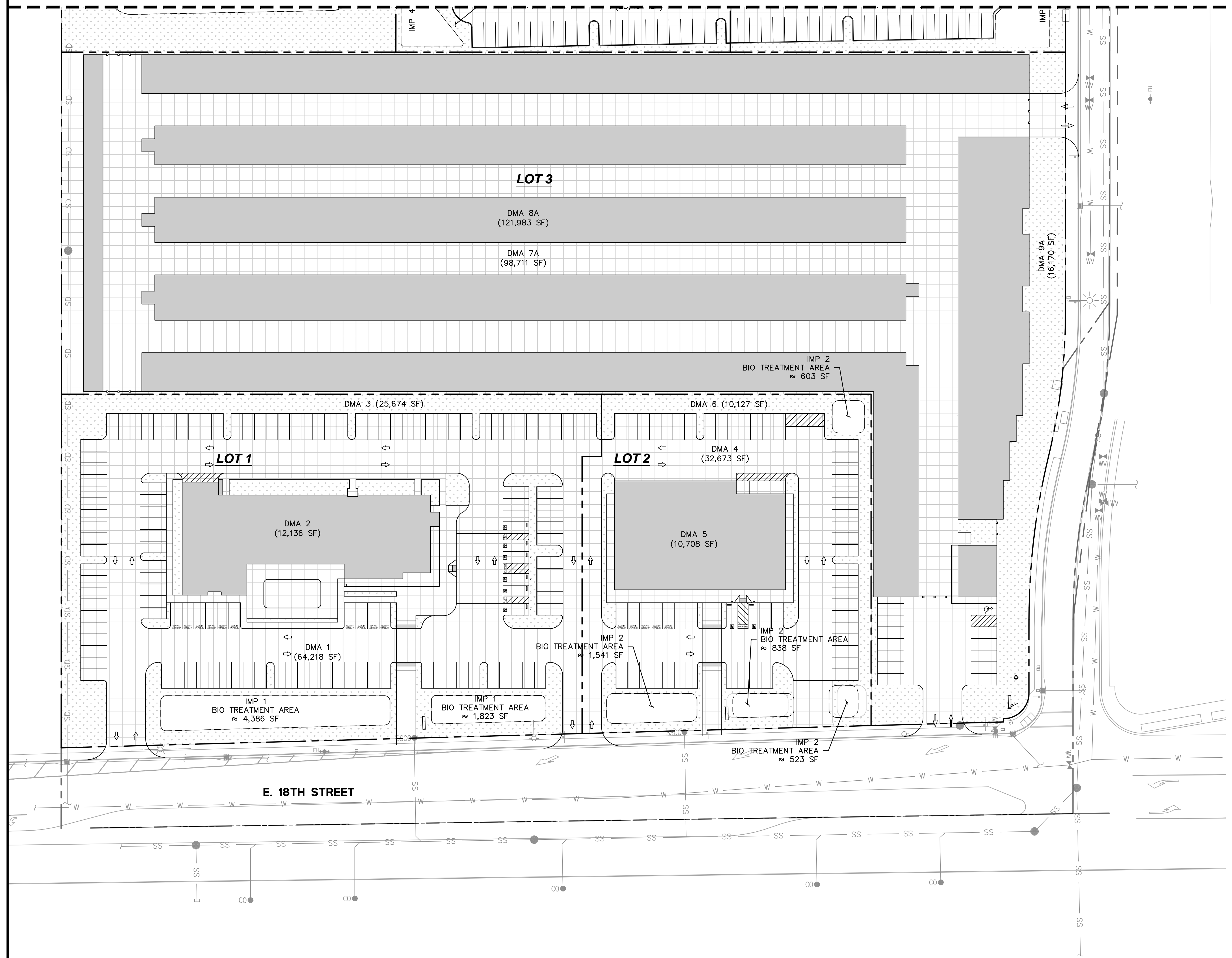
DEVELOPMENT PLANS FOR
ACORN BUSINESS PARK
 CONCEPTUAL STORMWATER CONTROL PLAN
 CITY OF ANTIOCH, CALIFORNIA

Revisions	No.	Date	By	Check

Date: 09.14.2018
 Scale: AS SHOWN
 Design: CLM
 Drawn: ADL/CN
 Approved: JTM
 Job No: C20180059-10

Drawing Number:
CE-10
 10 OF 28

CONTINUATION LINE, SEE SHEET CE-09



PRE-IMPROVEMENT					
PROJECT SITE AREA:		860,299	(ft)2		
PERVIOUS AREAS:			IMPERVIOUS AREAS:		
DESCRIPTION	AREA	UNITS	DESCRIPTION	AREA	UNITS
UNDEVELOPED/LANDSCAPE	860,299	(ft)2	ROOF + PAVED AREA'S	0	(ft)2
TOTAL	860,299	(ft)2	TOTAL	0	(ft)2
POST-IMPROVEMENT					
PROJECT SITE AREA:		860,299	(ft)2	% IMPERVIOUS AREA INCREASE	
PERVIOUS AREAS:				IMPERVIOUS AREAS:	
DESCRIPTION	AREA	UNITS	DESCRIPTION	AREA	UNITS
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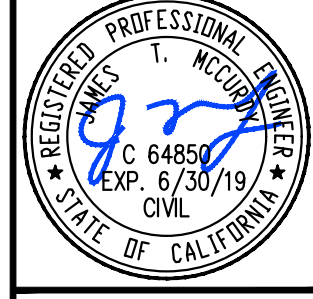
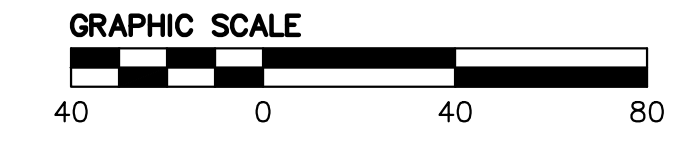
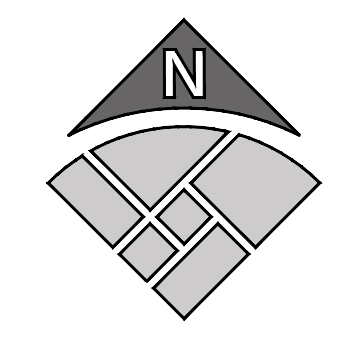
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 - SOIL GROUP A
 - HYDRAULIC DESIGN CRITERIA: 0.2 INCHES PER HOUR RAINFALL INTENSITY
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2	2	DMA 4 (AC/CONC)	32,673	2,800	3,500
		DMA 5 (ROOF)	10,708		
		DMA 6 (LANDSCAPE)	10,127		
3/6/A	3	DMA 7 (AC/CONC)	132,793	17,248	22,000
		DMA 8 (ROOF)	136,095		
		DMA 9 (LANDSCAPE)	45,870		
4	4	DMA 10 (AC/CONC)	25,494	2,531	3,150
		DMA 11 (ROOF)	14,112		
		DMA 12 (LANDSCAPE)	5,198		
5	5	DMA 13 (AC/CONC)	26,367	2,588	3,201
		DMA 14 (ROOF)	14,112		
		DMA 15 (LANDSCAPE)	5,616		
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8	7	DMA 19 (AC/CONC)	27,310	2,667	3,300
		DMA 20 (ROOF)	14,112		
		DMA 21 (LANDSCAPE)	857		
9	8	DMA 22 (AC/CONC)	27,963	2,700	3,350
		DMA 23 (ROOF)	14,112		
		DMA 24 (LANDSCAPE)	740		
10	9	DMA 25 (AC/CONC)	27,659	2,675	3,350
		DMA 26 (ROOF)	14,112		
		DMA 27 (LANDSCAPE)	6,494		
11	10	DMA 28 (AC/CONC)	23,615	2,439	3,050
		DMA 29 (ROOF)	14,112		
		DMA 30 (LANDSCAPE)	9,409		

* NOTE: THE LETTERS (A,B,C) FOLLOWING THE DMA NUMBER IN PLAN VIEW DENOTE A PORTION OF THE TOTAL DMA.

STORM WATER LEGEND

- ROOF AREA
- HARDSCAPE AREA
- LANDSCAPE AREA



DEVELOPMENT PLANS FOR
ACORN BUSINESS PARK
 CONCEPTUAL STORMWATER CONTROL PLAN
 CITY OF ANTIOCH, CALIFORNIA

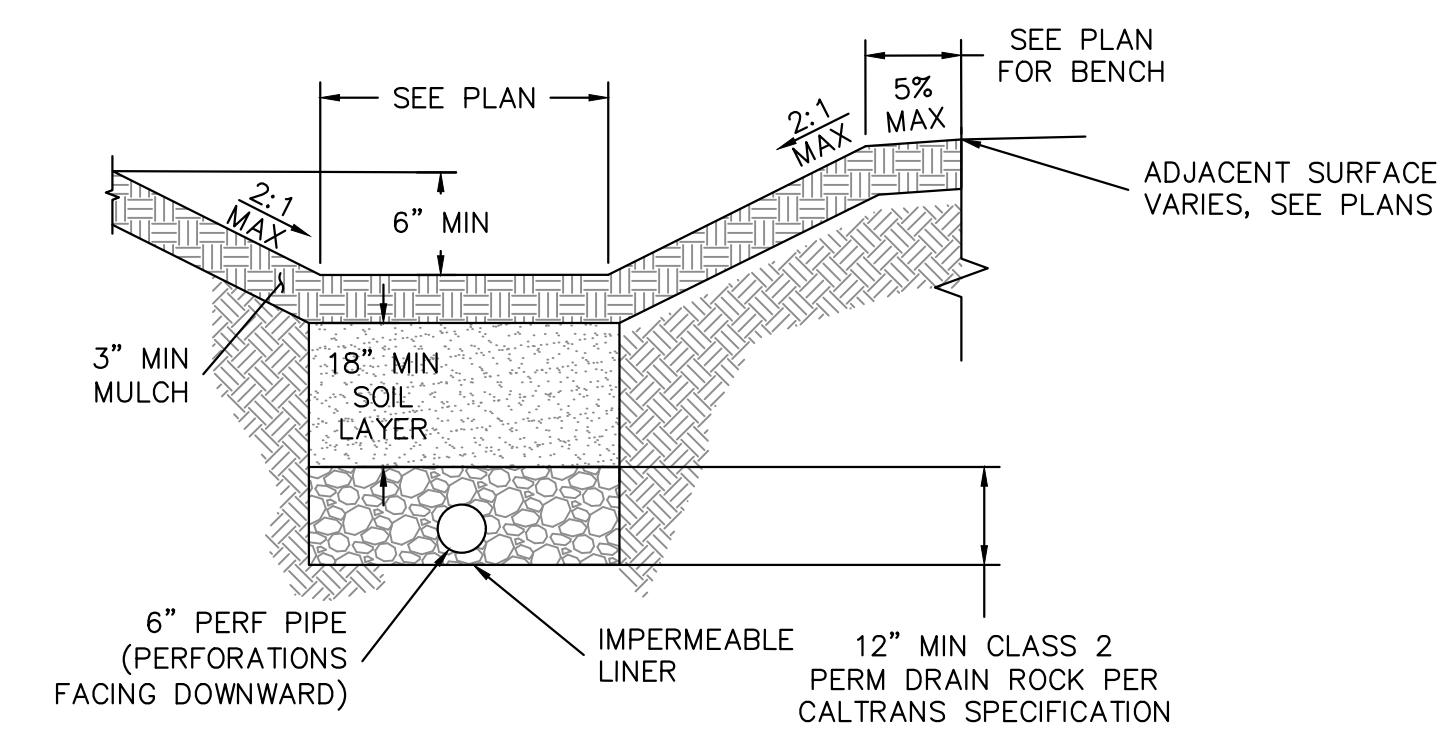
Revisions	No.	Date	By	Check

Date: 09.14.2018
 Scale: AS SHOWN
 Design: CLM
 Drawn: ADL/CN
 Approved: JTM
 Job No: C20180059-10

Drawing Number: **CE-11**
11 OF **28**

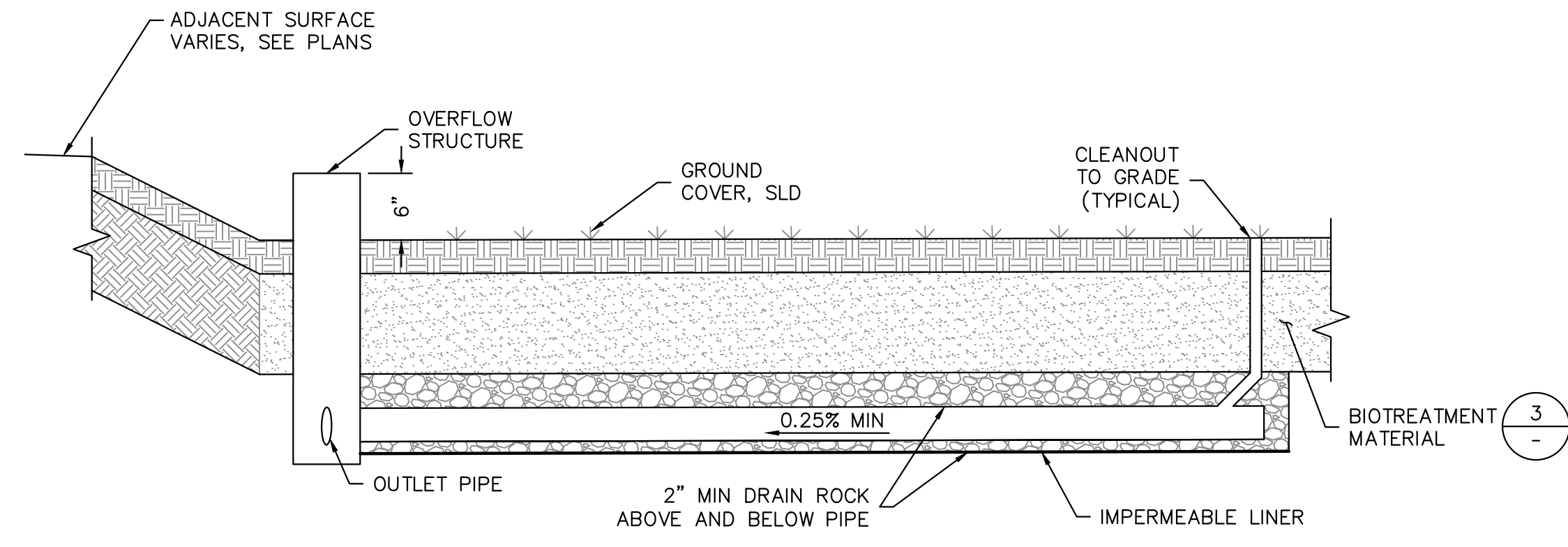
Revisions	No.	Date	Scale	Design	Drawn	Approved	Job No.
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Drawing Number: **CE-14**
14 OF **28**

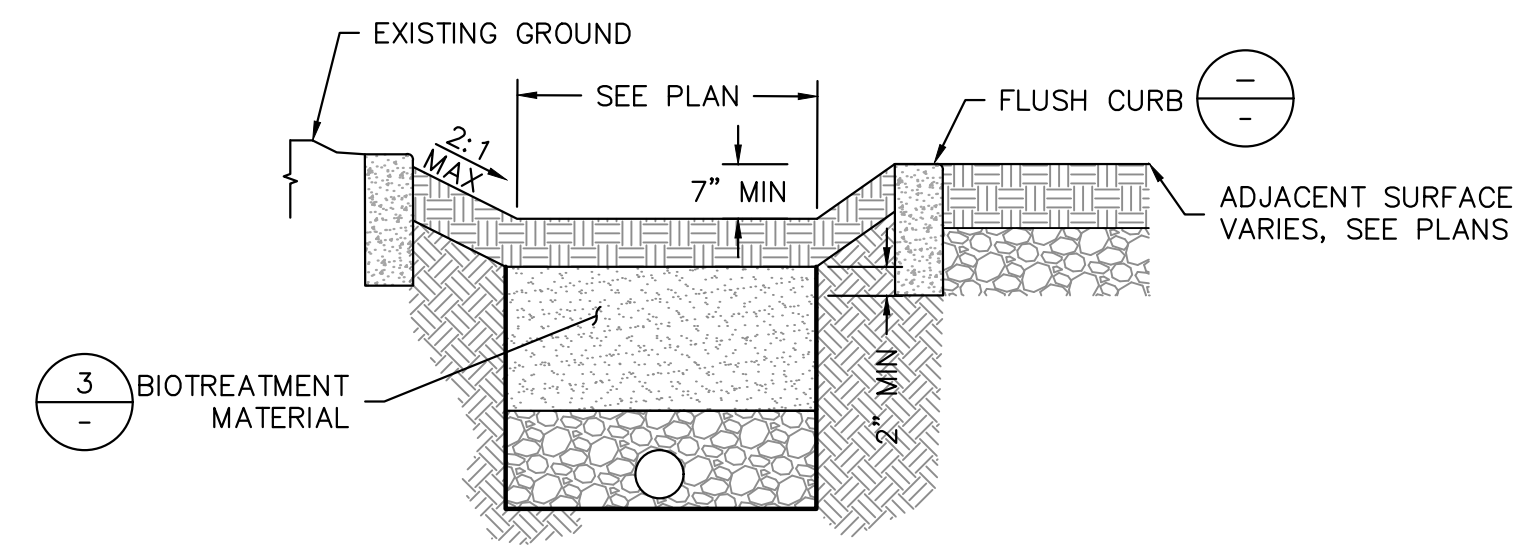


- BIORETENTION NOTES**
- BIORETENTION AREAS WILL VARY AS TO LOCATION OF HIGH AND LOW POINTS BUT BASIC MATERIALS AND CONSTRUCTION METHODS SHOWN ABOVE SHALL REMAIN THE SAME.
 - SOIL LAYER SHALL CONSIST OF A UNIFORM MIX OF 60%-70% CONSTRUCTION SAND AND 30%-40% COMPOST, FREE OF STONES, STUMPS, ROOTS, OR SIMILAR OBJECTS AND FREE OF NOXIOUS WEEDS. BIOTREATMENT SOIL MIX SHALL MEET THE SAN MATEO COUNTYWIDE WATER POLLUTION PREVENTION PROGRAM (SMCWPPP) SPECIFICATIONS. CONTRACTOR SHALL REFER TO SMCWPPP FOR BIOTREATMENT MIX SUPPLIERS.
 - DRAIN ROCK LAYER SHALL CONSIST OF CLASS 2 PERMEABLE MATERIAL PER CALTRANS SPECIFICATION SECTION 68-1.025.
 - TOP SOIL SHALL CONSIST OF MULCH OR LARGE BARK AND SHALL RESIST FLOATING.

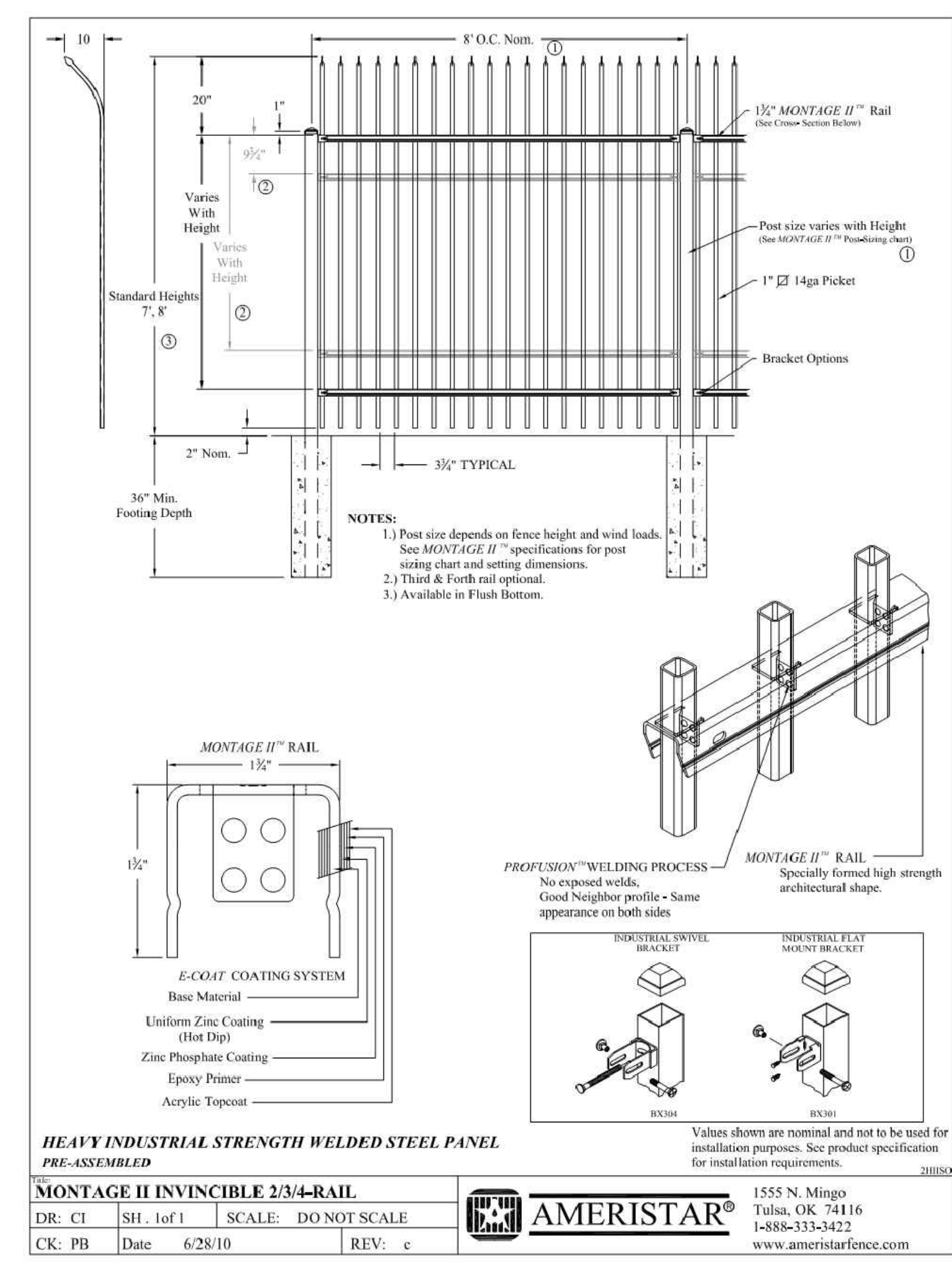
3 BIOTREATMENT MATERIAL
NTS



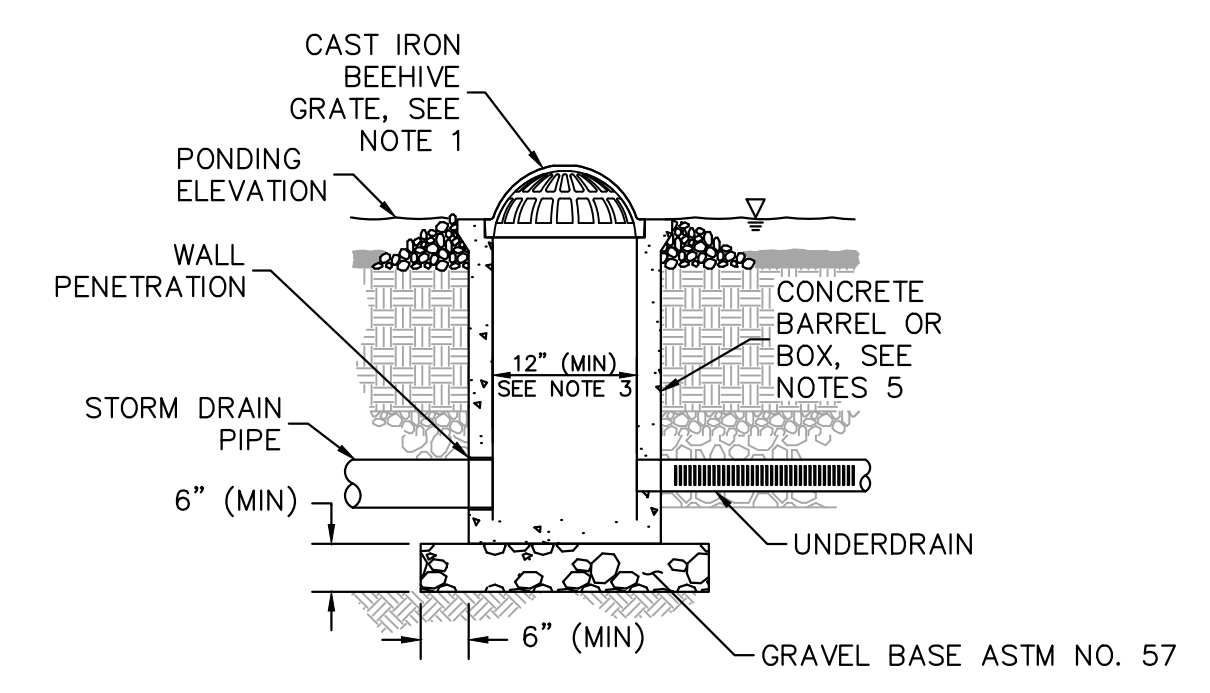
2 BIOTREATMENT LONGITUDINAL CROSS-SECTION
NTS



1 FLUSH CONDITION AT BIOTREATMENT
NTS



5 INDUSTRIAL FENCE
NTS



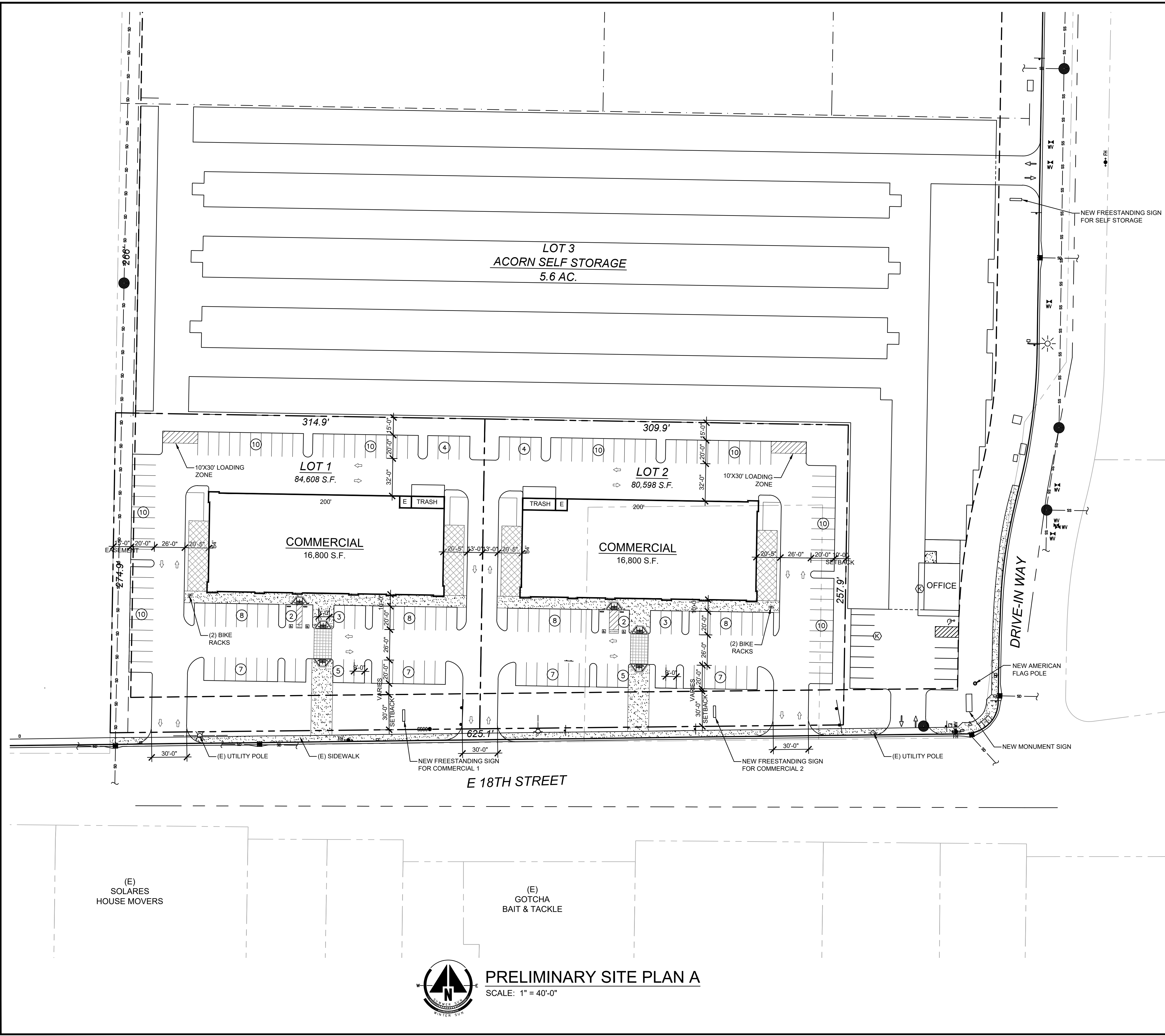
- CONSTRUCTION NOTES:**
- SIZE OF GRATE SHALL MATCH SIZE OF RISER SPECIFIED IN PLANS. SHALL BE REMOVABLE TO PROVIDE MAINTENANCE ACCESS, AND SHALL BE BOLTED IN PLACE OR OUTFITTED WITH APPROVED TAMPER-RESISTANT LOCKING MECHANISM. MAXIMUM GRATE OPENING SHALL BE 4 INCHES.
 - IF INTERIOR DEPTH OF OVERFLOW STRUCTURE EXCEEDS 5 FEET, A PERMANENT BOLTED LADDER AND MINIMUM CLEAR SPACE OF 30 IN BY 30 IN SHALL BE PROVIDED FOR MAINTENANCE ACCESS.
 - 12 INCH (MIN) CLEARANCE WITHIN OVERFLOW STRUCTURE SHALL BE PROVIDED FOR MAINTENANCE ACCESS.
 - INSTALL CAST IRON TRAP/HOOD PER MANUFACTURER'S RECOMMENDATIONS.
 - BARREL/BOX AND BASE OF CATCH BASIN MAY BE PRE-CAST WITH REINFORCING STEEL PER MANUFACTURER'S RECOMMENDATIONS, OR POURED IN PLACE CONCRETE WITHOUT STEEL PER SAN FRANCISCO STANDARD PLANS AND SPECIFICATIONS.
- GENERAL NOTES:**
- ALL MATERIAL AND WORKMANSHIP FOR OVERFLOW STRUCTURES SHALL CONFORM TO SAN FRANCISCO STANDARD SPECIFICATIONS AND APPLICABLE CODES PER SAN FRANCISCO DBI.
 - GROUT ALL PENETRATIONS, CRACKS, SEAMS, AND JOINTS WITH CLASS "C" MORTAR.
 - OVERFLOW PIPES MUST BE LOCATED AT AN ELEVATION HIGHER THAN THE SEWER HYDRAULIC GRADE LINE TO PREVENT BACKFLOW INTO THE BIORETENTION FACILITY.

4 OVERFLOW STRUCTURE
NTS



Know what's below.
Call before you dig.

PLOTTED: 7/23/2018 4:21 PM C:\Users\jill\Documents\TWA Home 2018\JM02 (Antioch)\DR-dwg\JM02_DR_Sel_2018-07-23 (Delta 1)\JM02_DR-01 (Site Plan - Commercial).dwg by jill



SITE DATA

APN 051-052-112 & 051-052-113
 SITE AREA: (COMMERCIAL) ±165,206 S.F. (3.79 AC.)
 ZONING: PBC / C-3 (PLANNED BUSINESS CENTER / REGIONAL COMMERCIAL DISTRICT)

SITE AREA:
 LOT 1 84,608 S.F.
 LOT 2 80,598 S.F.
 TOTAL COMMERCIAL SITE AREA 165,206 S.F.

LOT 1 - COMMERCIAL:
 SITE AREA 84,608 S.F.

BUILDING AREA:
 COMMERCIAL 16,800 S.F.
 COVERAGE 19.8 %

PARKING REQUIRED:
 COMMERCIAL AT 1/250 S.F. (16,800 S.F.) 68 SPACES

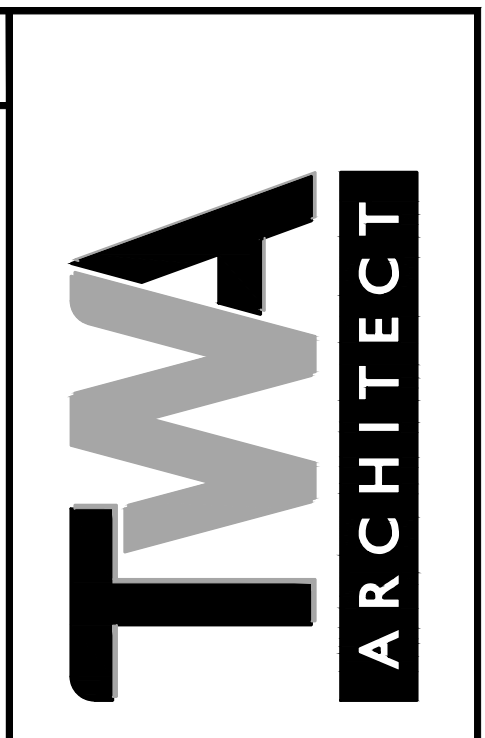
PARKING PROVIDED:
 ACCESSIBLE 2 SPACES
 STANDARD 82 SPACES
 TOTAL PARKING PROVIDED 84 SPACES

LOT 2 - COMMERCIAL:
 SITE AREA 80,598 S.F.

BUILDING AREA:
 COMMERCIAL 16,800 S.F.
 COVERAGE 20 %

PARKING REQUIRED:
 COMMERCIAL AT 1/200 S.F. (16,800 S.F.) 84 SPACES

PARKING PROVIDED:
 ACCESSIBLE 2 SPACES
 STANDARD 82 SPACES
 TOTAL PARKING PROVIDED 84 SPACES



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 jmi-properties.com
 8117 Marsh Creek Road
 Clayton, CA 94517

ACORN BUSINESS PARK
 NORTHWEST CORNER OF
 EAST 18TH STREET & DRIVE-IN WAY
 ANTIOCH, CA 94509

DATE: 09/14/2018

REV. NO.	REV. DATE
▲	07-23-2018
▲	
▲	
▲	

SITE PLAN A
 COMMERCIAL

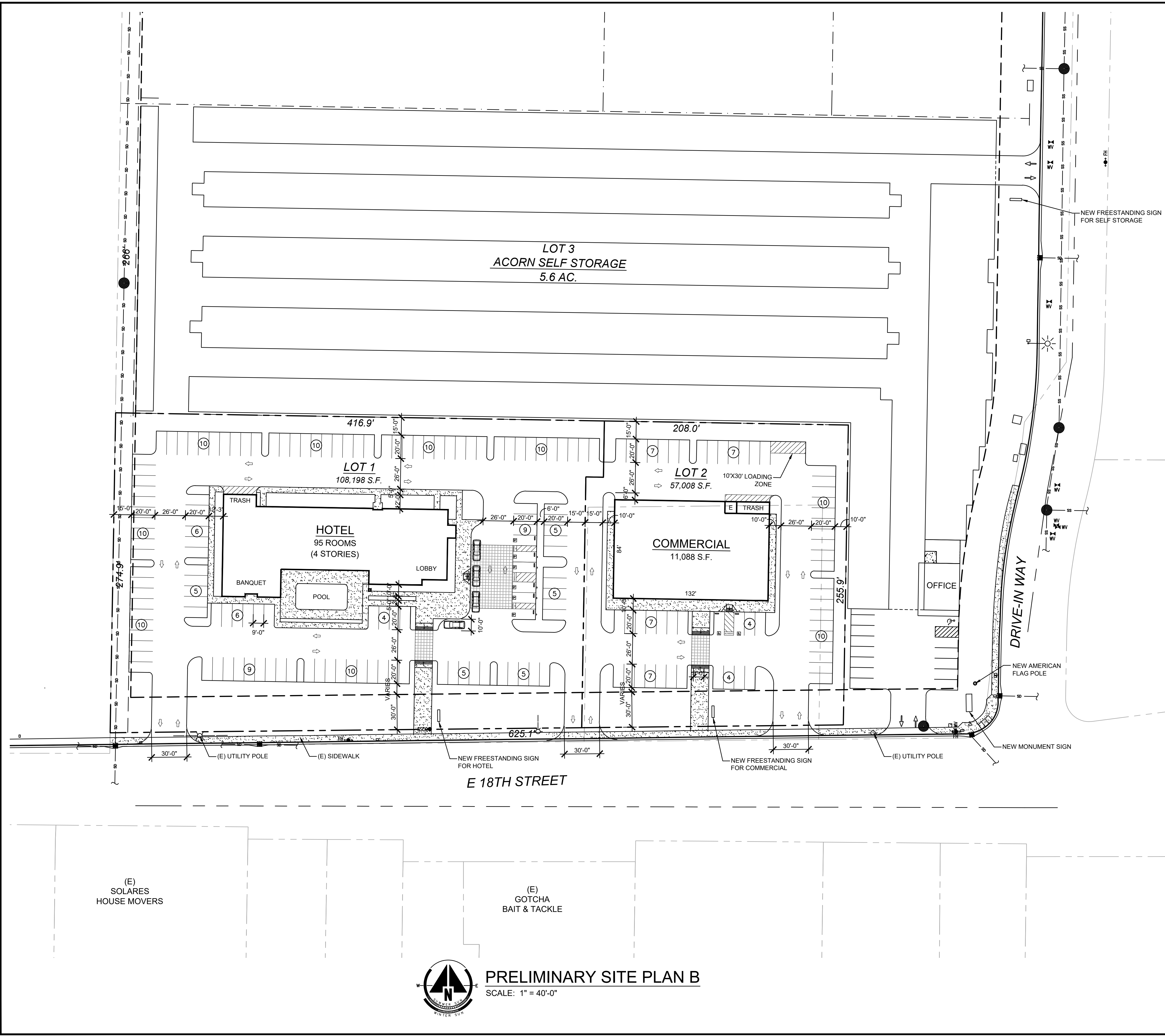
DR - 1

JOB NO.: JM102

PRELIMINARY SITE PLAN A
 SCALE: 1" = 40'-0"

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SITE DATA

APN: 051-052-112 & 051-052-113
 SITE AREA: (COMMERCIAL) ±165,206 S.F. (3.79 AC.)
 ZONING: PBC / C-3 (PLANNED BUSINESS CENTER / REGIONAL COMMERCIAL DISTRICT)

SITE AREA:	
LOT 1	108,198 S.F.
LOT 2	57,008 S.F.
TOTAL SITE AREA	165,206 S.F.

LOT 1 - HOTEL:
 SITE AREA 108,198 S.F.

HOTEL BUILDING AREA:	
GROUND FLOOR (14 ROOMS)	12,136 S.F.
SECOND FLOOR (27 ROOMS)	10,353 S.F.
THIRD FLOOR (27 ROOMS)	10,353 S.F.
FOURTH FLOOR (27 ROOMS)	10,353 S.F.
TOTAL BUILDING AREA	43,195 S.F.
F.A.R. (TOTAL S.F./SITE S.F.)	0.4
COVERAGE (GROUND S.F./SITE S.F.)	11.2 %
TOTAL NUMBER OF ROOMS	95 ROOMS

HOTEL PARKING REQUIRED:	
1/ROOM (95 ROOMS)	95 SPACES
1/EMPLOYEE (10)	10 SPACES
1/50 SF OF DINING (1,200 S.F.)	24 SPACES
TOTAL PARKING REQUIRED	129 SPACES

HOTEL PARKING PROVIDED:	
ACCESSIBLE	6 SPACES
STANDARD	123 SPACES
TOTAL PARKING PROVIDED	129 SPACES

LOT 2 - COMMERCIAL:
 SITE AREA 57,008 S.F.

COMMERCIAL BUILDING AREA:	
COMMERCIAL	11,088 S.F.
F.A.R. (TOTAL S.F./SITE S.F.)	0.2
COVERAGE (GROUND S.F./SITE S.F.)	19.4 %

COMMERCIAL PARKING REQUIRED:	
1/200 S.F. (11,088 S.F.)	56 SPACES

COMMERCIAL PARKING PROVIDED:	
ACCESSIBLE	2 SPACES
STANDARD	54 SPACES
TOTAL PARKING PROVIDED	56 SPACES

TWA

ARCHITECT

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ACORN BUSINESS PARK

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DATE:	09/14/2018
REV. NO.	REV. DATE
▲	07-23-2018
▲	
▲	
▲	

**SITE PLAN B
HOTEL &
COMMERCIAL**

DR - 2

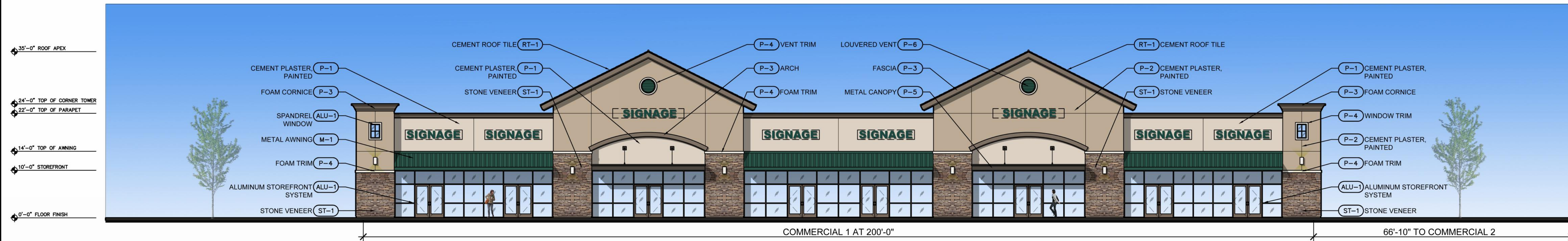
JOB NO.: JM102

PRELIMINARY SITE PLAN B
 SCALE: 1" = 40'-0"

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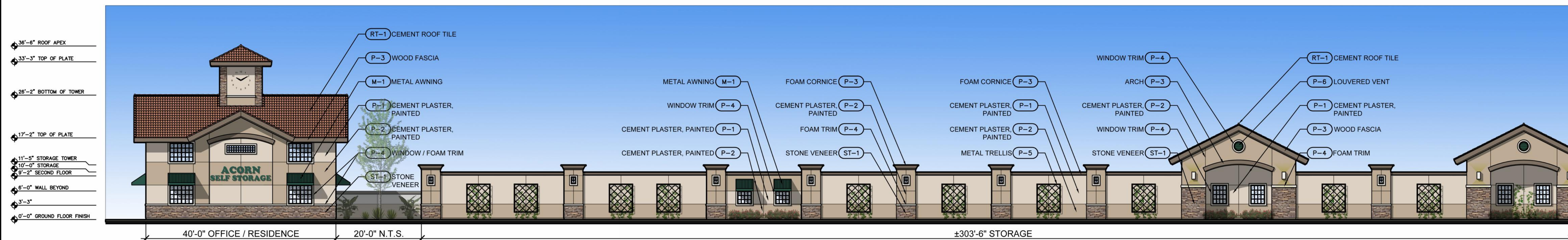
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SOUTH ELEVATION - LOT A (EAST 18TH STREET)
SCALE: 3/32" = 1'-0"



SOUTH ELEVATION - LOT B / STORAGE (EAST 18TH STREET)
SCALE: 3/32" = 1'-0"



EAST ELEVATION - STORAGE (DRIVE-IN WAY)
SCALE: 3/32" = 1'-0"

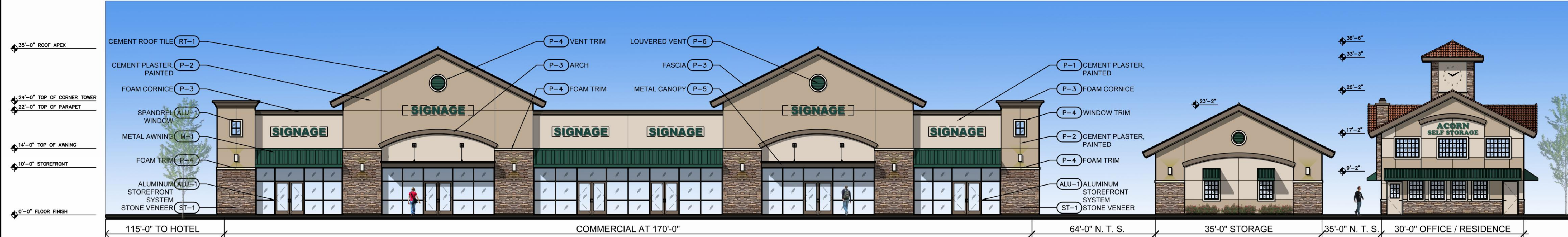
NOTE: REFER TO SHEET DR-7 FOR BUILDING MATERIALS & COLORS.

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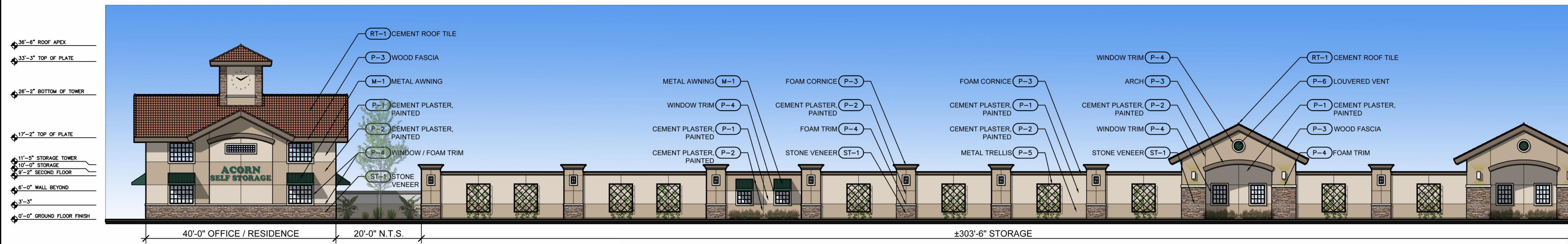
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SOUTH ELEVATION - LOT A (EAST 18TH STREET)
SCALE: 3/32" = 1'-0"



SOUTH ELEVATION - LOT B / STORAGE (EAST 18TH STREET)
SCALE: 3/32" = 1'-0"



EAST ELEVATION - STORAGE (DRIVE-IN WAY)
SCALE: 3/32" = 1'-0"

NOTE: REFER TO SHEET DR-7 FOR BUILDING MATERIALS & COLORS.

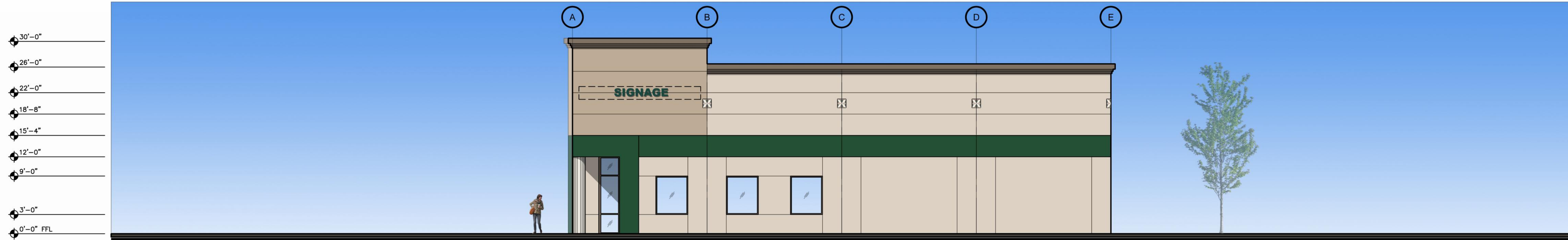
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PLOTTED: 6/13/2018 2:16 AM C:\Users\jill\Documents\TWA Home 2018\JM02 (Antioch)\DR-dwg\JM02_DR-05 (Industrial Elevations).dwg by Jill



FRONT ELEVATION

SCALE: 1/8" = 1'-0"



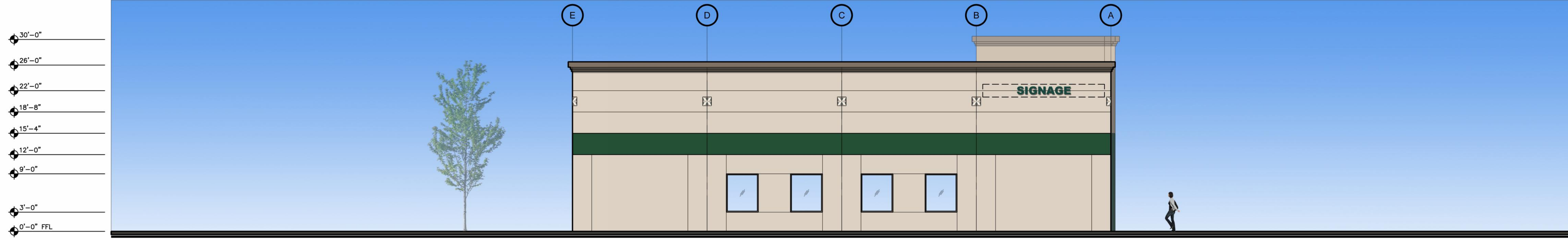
RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

NOTE: REFER TO SHEET DR-7 FOR BUILDING MATERIALS & COLORS.



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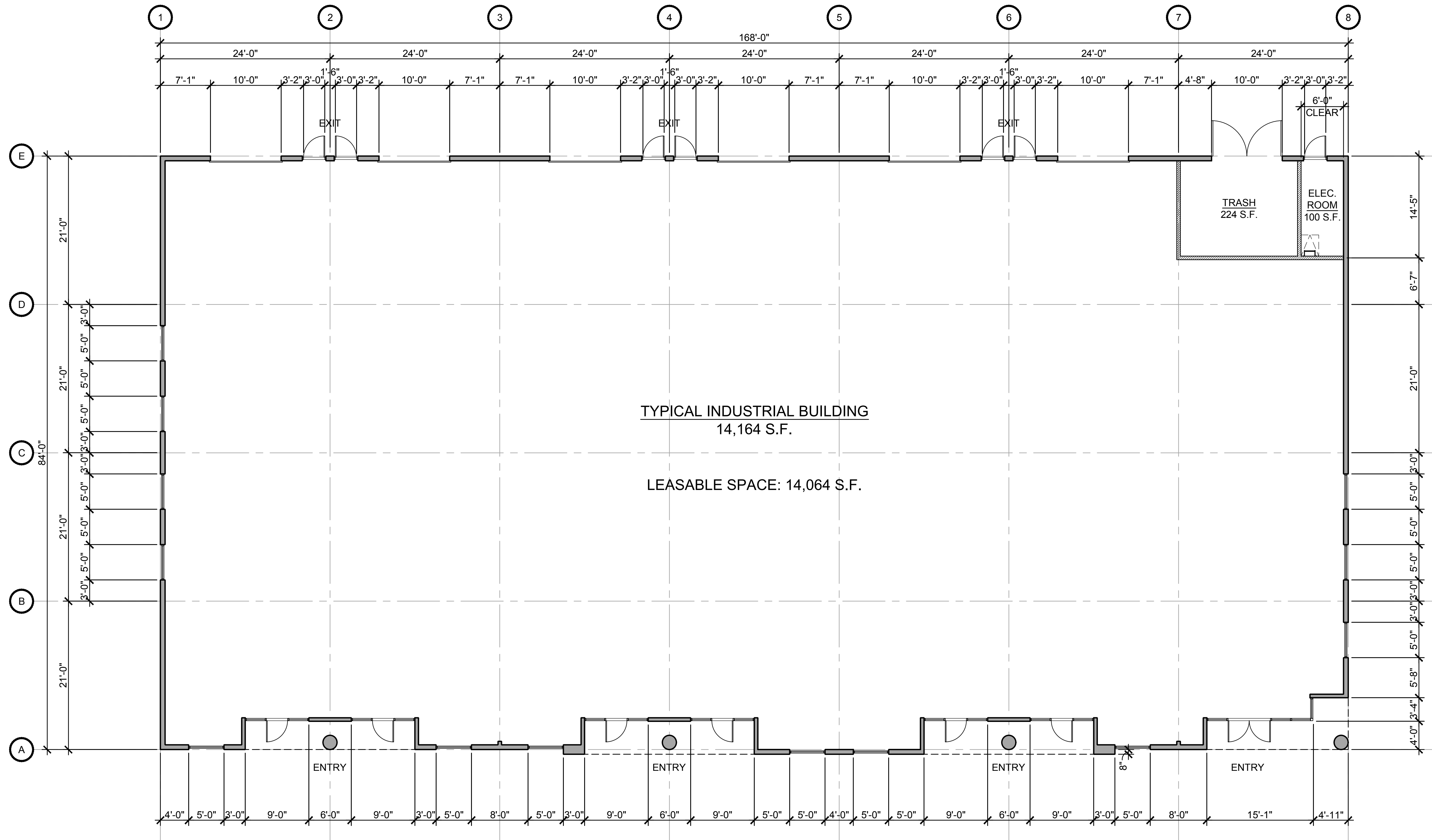
INDUSTRIAL BUILDING ELEVATIONS

DR - 5

JOB NO.: JM102

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6/12/2018 12:34 PM S:\Projects\TWA Projects\JMI - JMI Properties\JMI02 (Antioch)\Drawings\DR-dwg\JMI02_DR-06 (Floor Plan - Industrial).dwg by Chris



TYPICAL INDUSTRIAL BUILDING
14,164 S.F.

LEASABLE SPACE: 14,064 S.F.

TYPICAL INDUSTRIAL FLOOR PLAN

SCALE: 1/8" = 1'-0"



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DATE: 09/14/2018

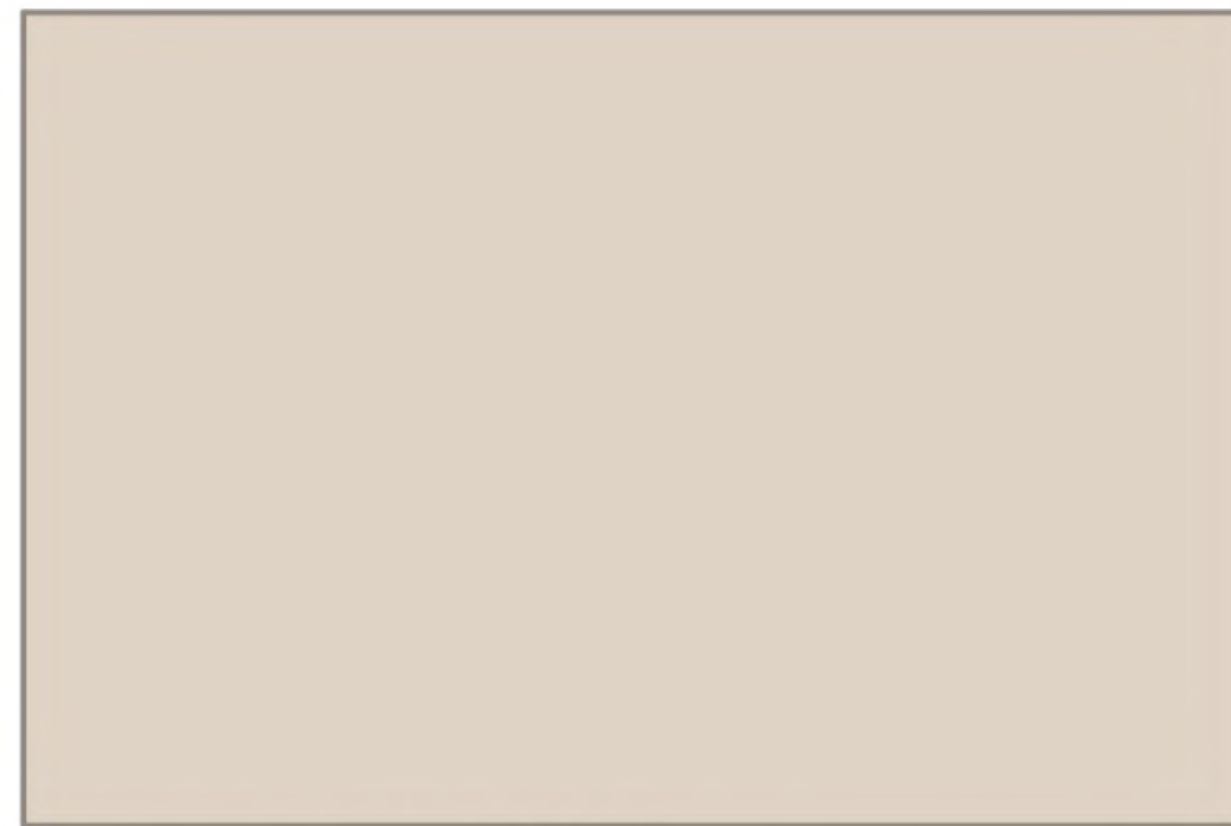
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TYPICAL INDUSTRIAL FLOOR PLAN

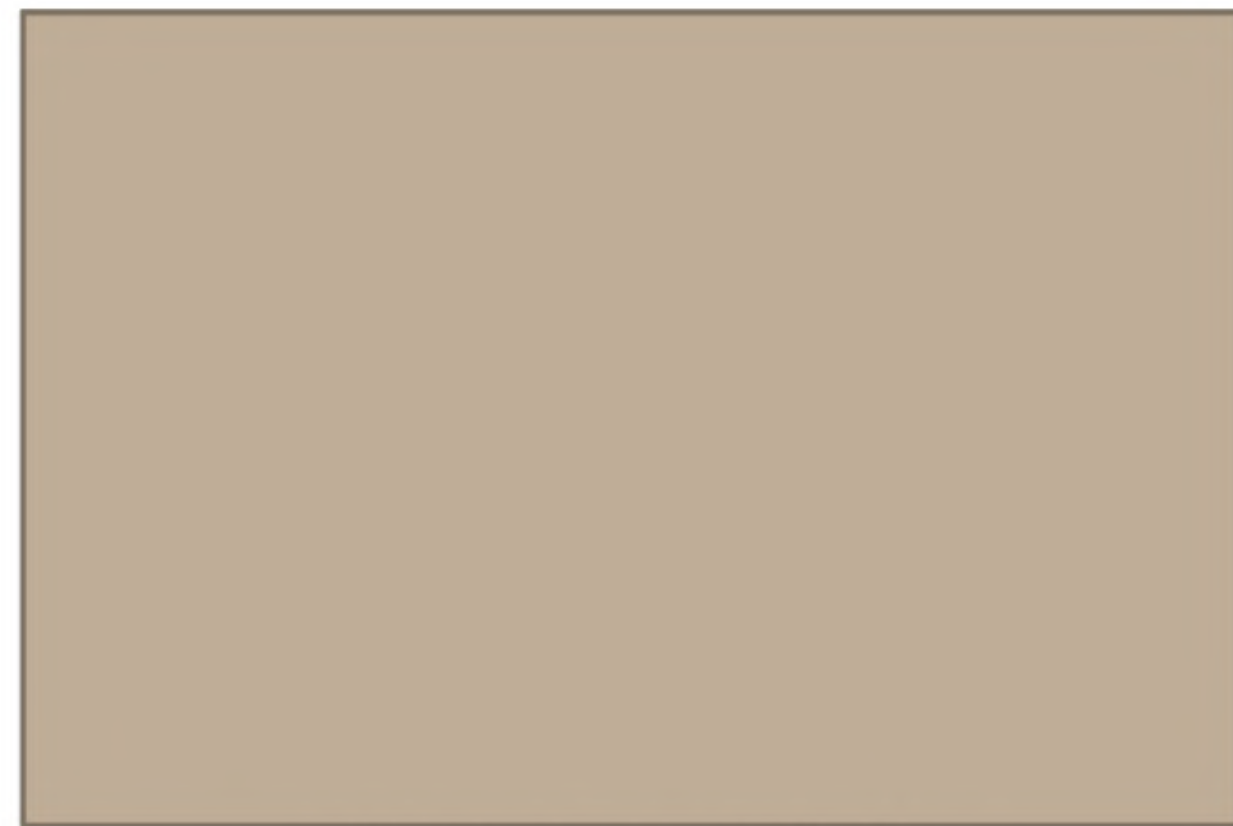
DR - 6

JOB NO.: JMI02

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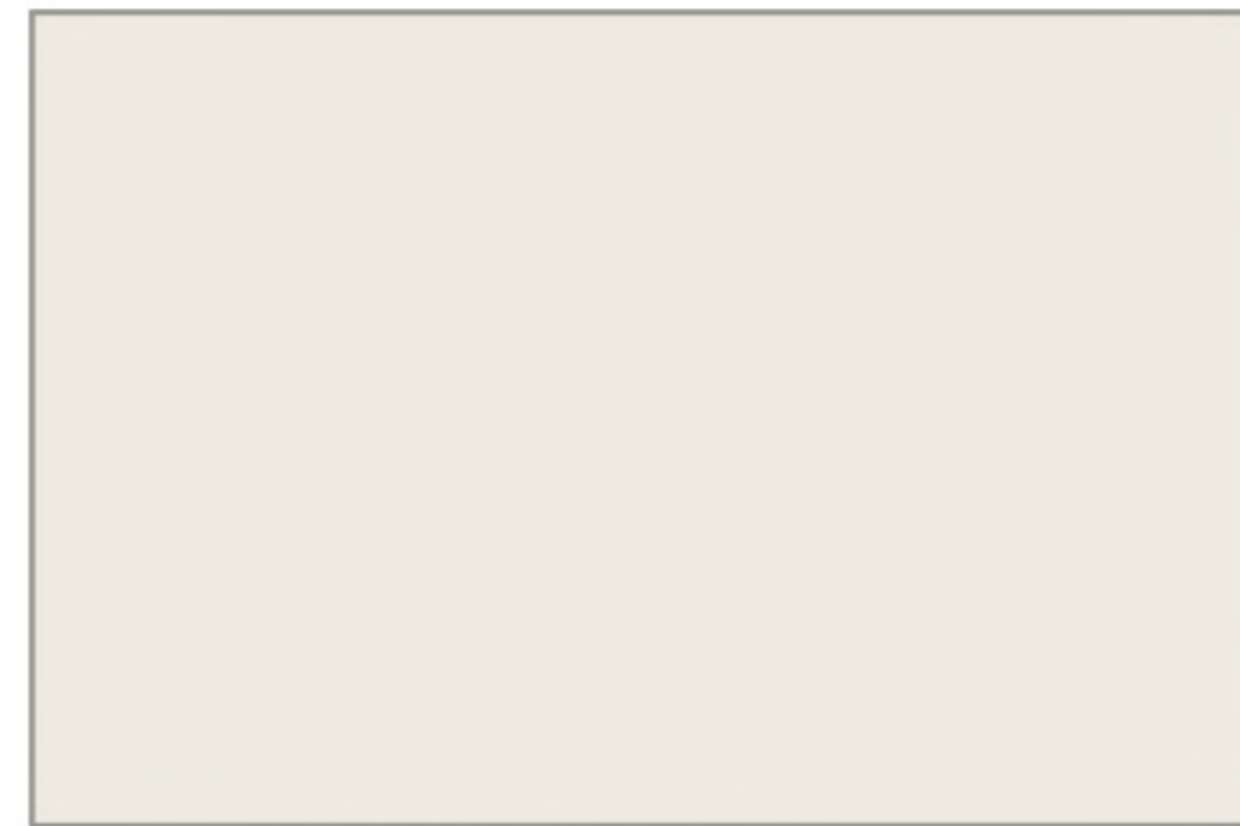
P-1 PAINT (BODY)
SHERWIN WILLIAMS
#SW 9109 "NATURAL LINEN"



P-2 PAINT (TOWER / WAINSCOT)
SHERWIN WILLIAMS
#SW 9111 "ANTLER VELVET"



P-3 PAINT (CORNICHE / FASCIA / ARCH)
SHERWIN WILLIAMS
#SW 7514 "FOOTHILLS"



P-4 PAINT (TRIM)
SHERWIN WILLIAMS
#SW 7001 "MARSHMALLOW"



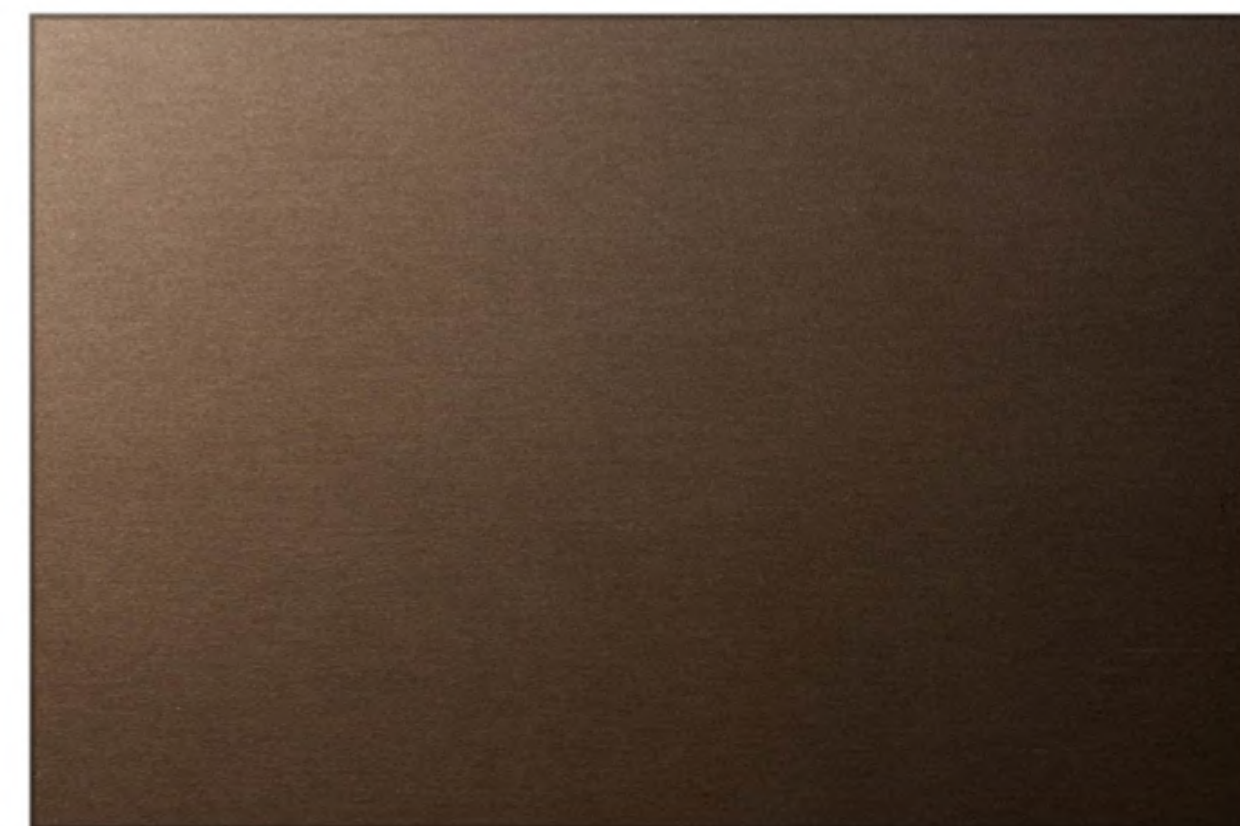
P-5 PAINT (METAL CANOPY / TRELLIS)
SHERWIN WILLIAMS
#SW 7020 "BLACK FOX"



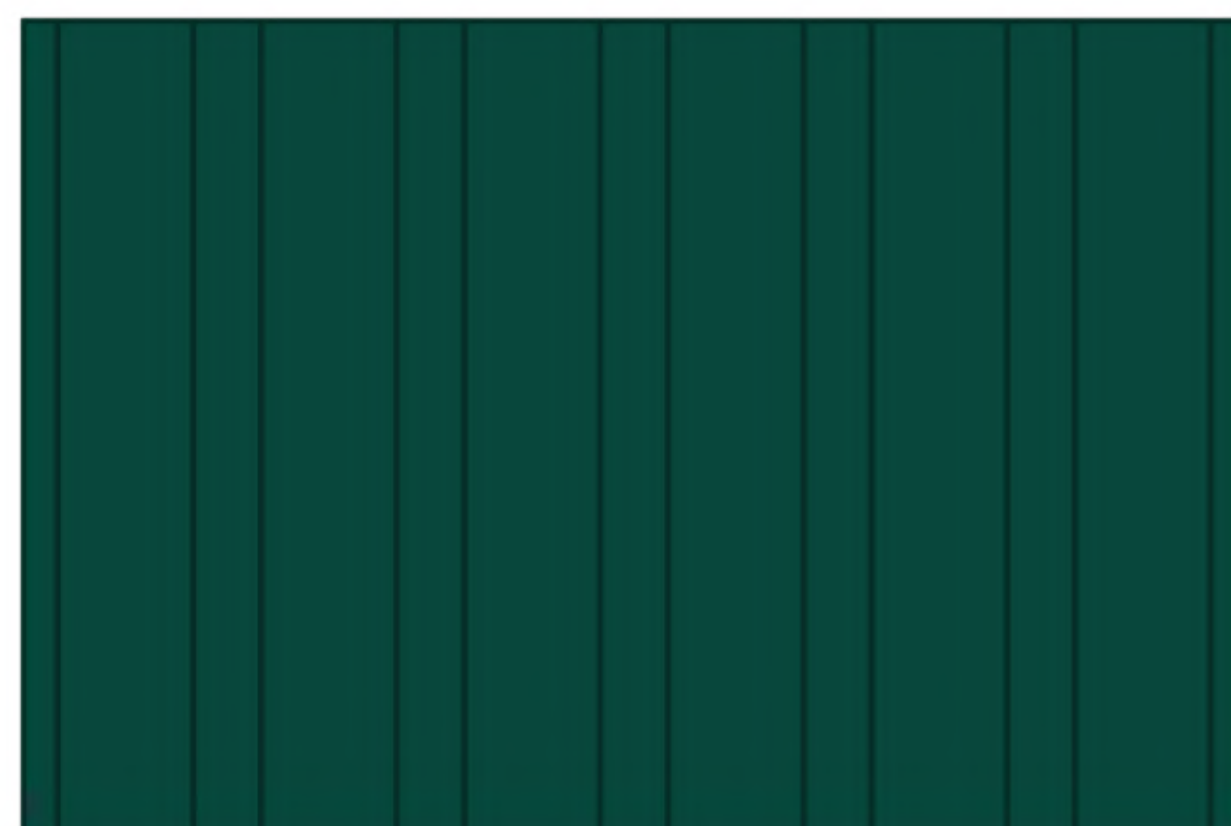
P-6 PAINT (ACCENT)
SHERWIN WILLIAMS
#SW 6454 "SHAMROCK"



ST-1 STONE VENEER
ELDORADO RUSTIC LEDGE
"CLEARWATER"



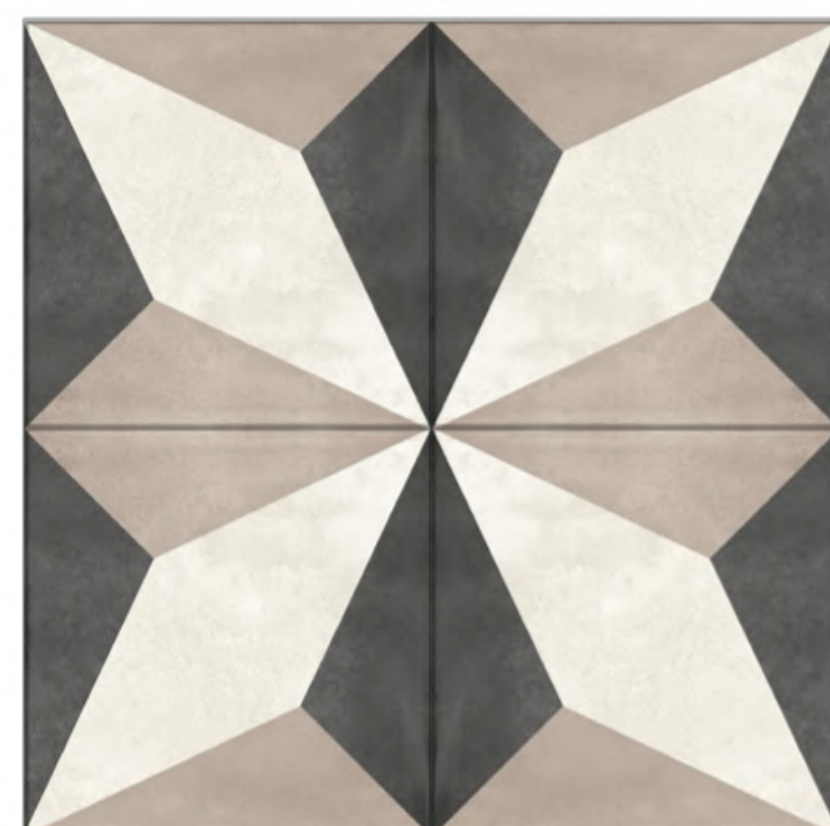
ALU-1 ALUMINUM STOREFRONT SYSTEM
KAWNEER PERMANODIC
"DARK BRONZE ANODIZED"



M-1 METAL AWNING
AEP SPAN
"COOL JADE GREEN"



RT-1 CEMENT ROOF TILE
BORAL ROOFING
ROMANO PANS "RED"



T-1 TILE INSERT
FLORIDA TILE
GENESIS "PRISM 3"

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MATERIALS & COLOR BOARD

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09/14/2018

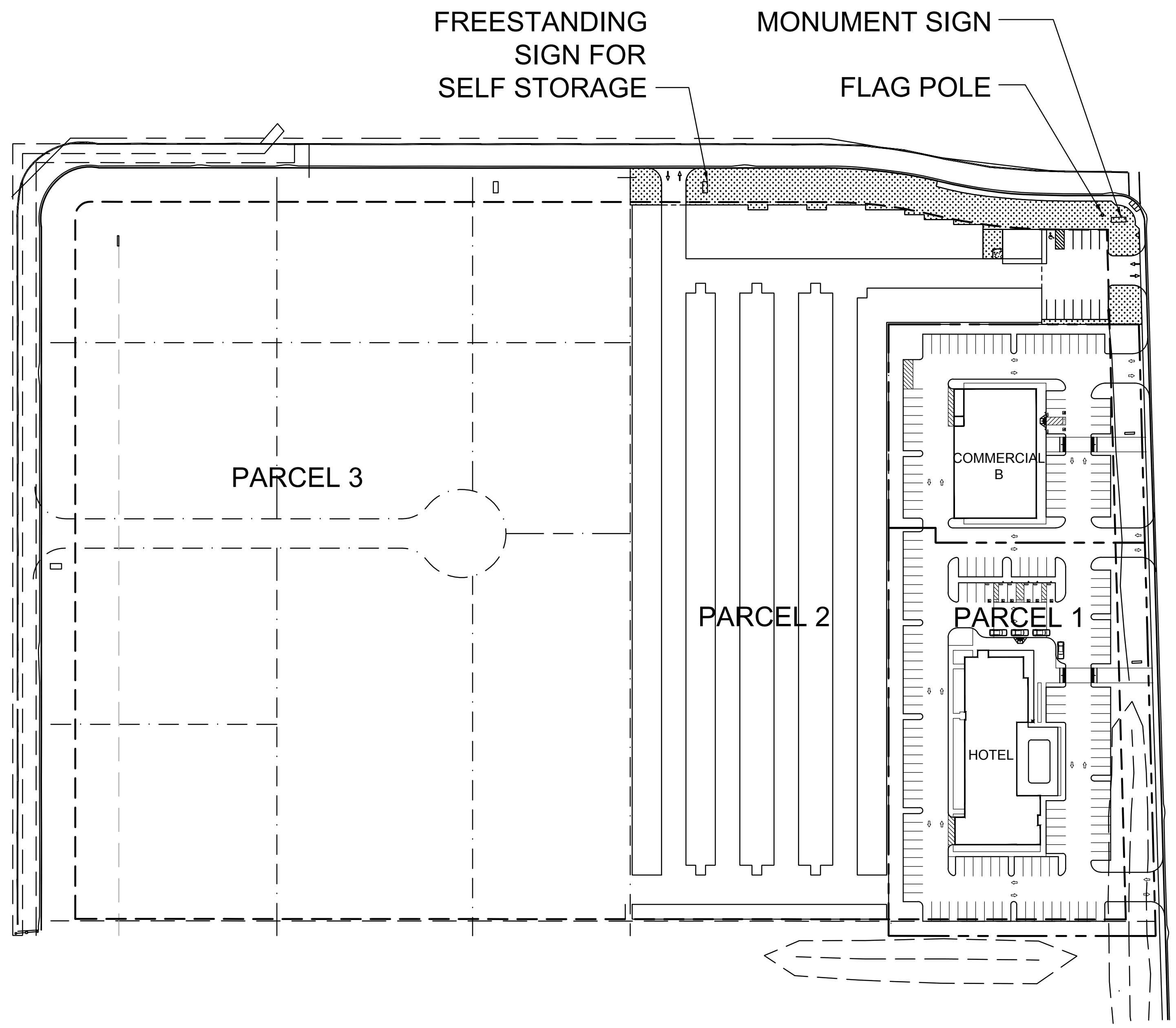
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(707) 747-1231

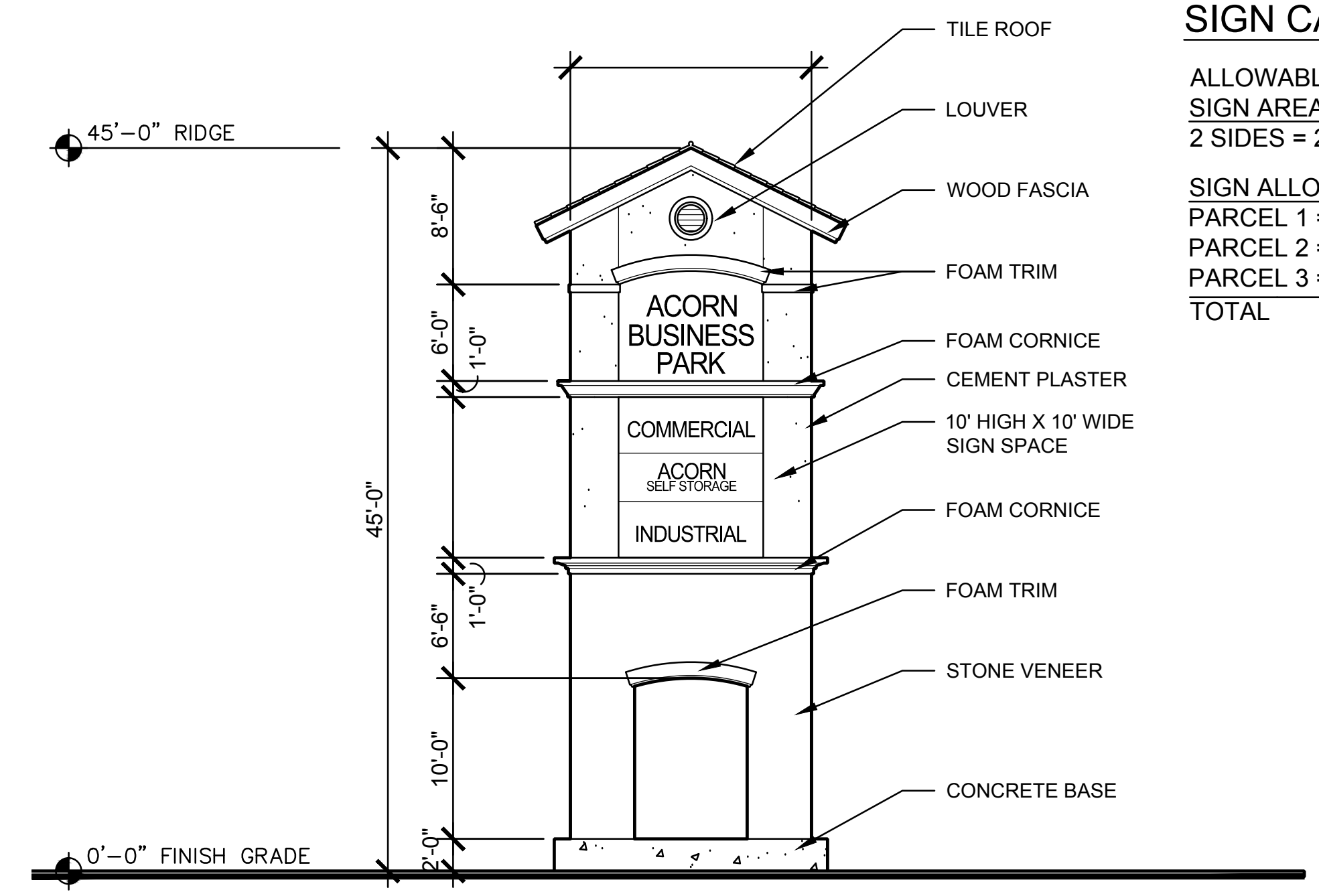
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DR-7



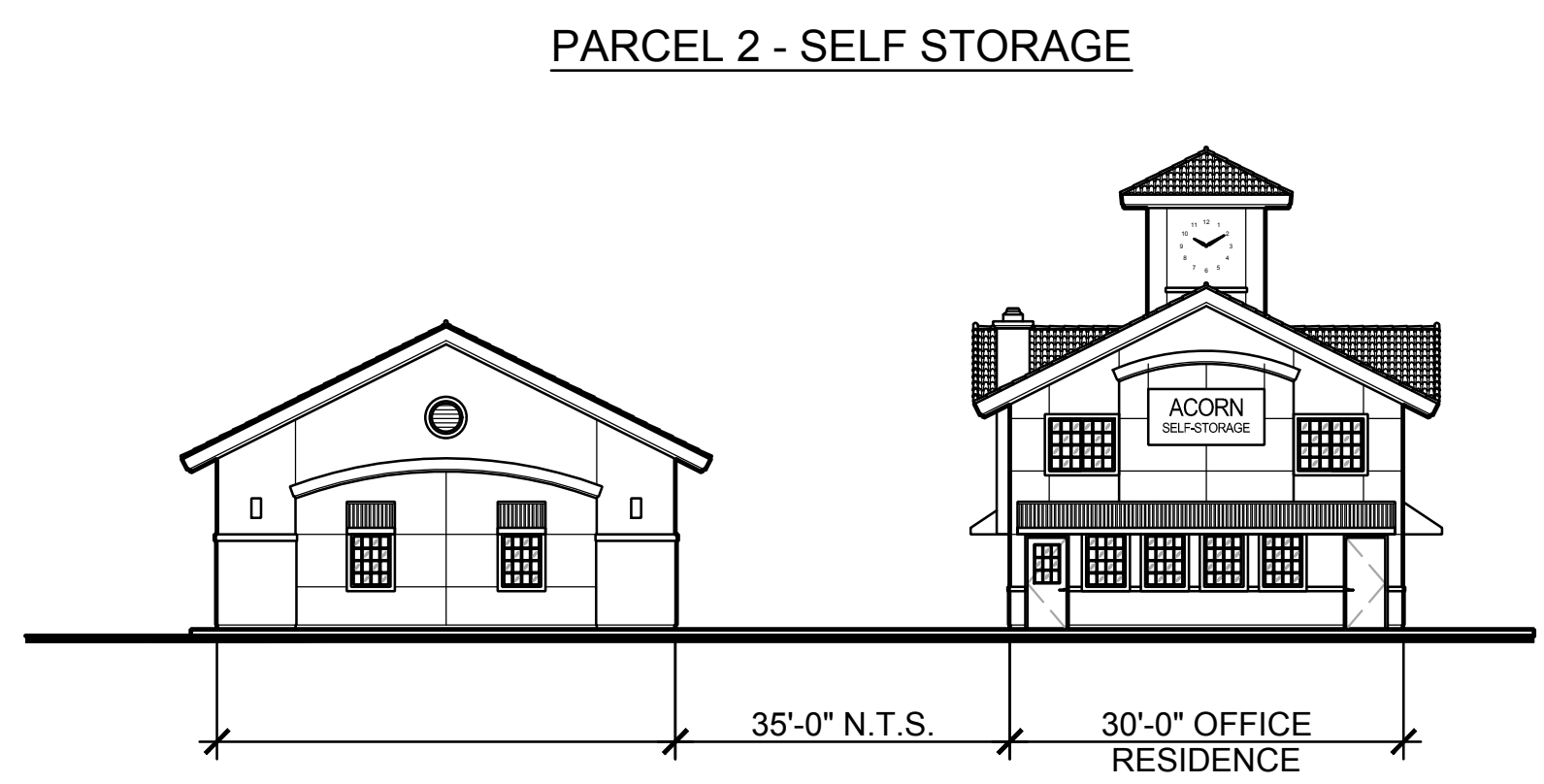
SITE PLAN
SCALE: 1" = 100'



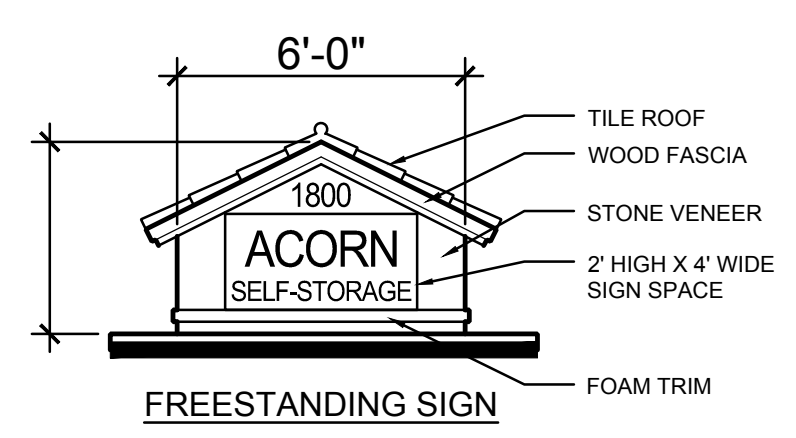
MONUMENT SIGN
SCALE: 1/8" = 1'-0"

SIGN CALCULATIONS
ALLOWABLE AREA:
SIGN AREA = 10X10 = 100 S.F.
2 SIDES = 200 S.F. TOTAL

SIGN ALLOCATIONS
PARCEL 1 = 66.7 S.F.
PARCEL 2 = 66.7 S.F.
PARCEL 3 = 66.7 S.F.
TOTAL 200 S.F.



PARCEL 2 - SELF STORAGE



SIGN CALCULATIONS - SELF STORAGE:
ALLOWABLE SIGN AREA PER SECTION 9.5.514:
2 S.F. PER 1 L.F.
60' X 2 = 120 S.F. ALLOWED

PROPOSED SIGN AREA:
BUILDING SIGN = 2.4 X 5 = 12 S.F.
GROUND SIGN = (2) 2 X 4 = 16 S.F. X 2 SIDES = 32 S.F.
MONUMENT SIGN = 67 S.F.
TOTAL SIGNAGE = 111 S.F.



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ANTIOCH, CA 94509

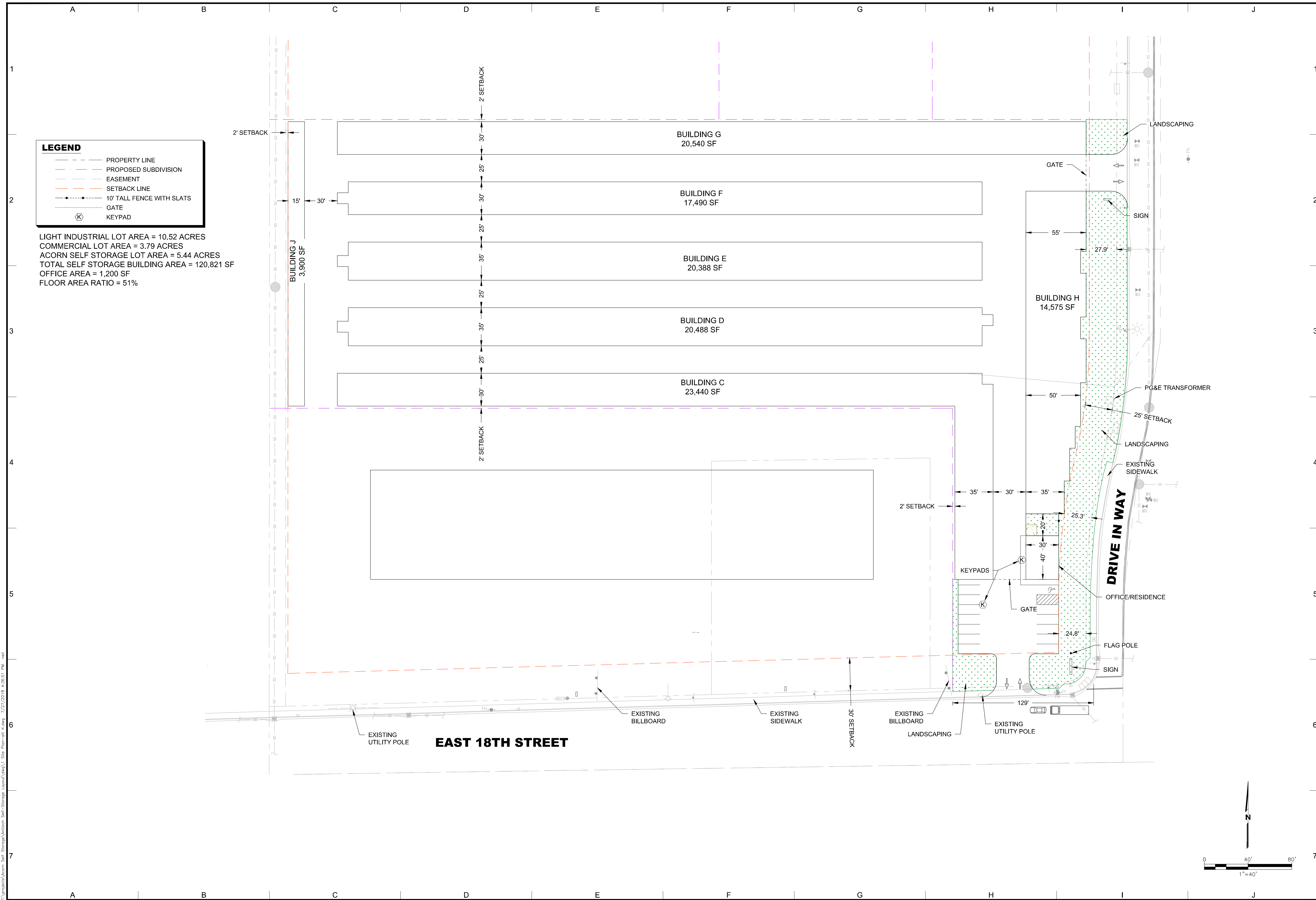
DATE: 09-14-2018

REV. NO.	REV. DATE

SIGN PLAN

DR - 8

JOB NO.: JMI02



LEGEND

- PROPERTY LINE
- - - PROPOSED SUBDIVISION
- - - EASEMENT
- - - SETBACK LINE
- - - 10' TALL FENCE WITH SLATS
- (K) GATE
- (K) KEYPAD

LIGHT INDUSTRIAL LOT AREA = 10.52 ACRES
 COMMERCIAL LOT AREA = 3.79 ACRES
 ACORN SELF STORAGE LOT AREA = 5.44 ACRES
 TOTAL SELF STORAGE BUILDING AREA = 120,821 SF
 OFFICE AREA = 1,200 SF
 FLOOR AREA RATIO = 51%

NO.	DESCRIPTION	DATE

SHEET TITLE
SELF STORAGE PLAN - OPTION K

PROJECT TITLE
ANTIOCH SELF STORAGE FACILITY

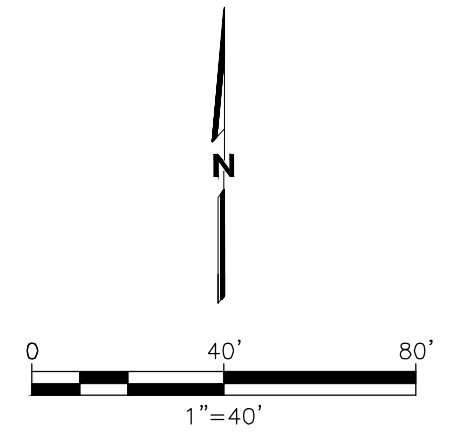
CMI
 engineering and construction
 1111 CIVIC DRIVE
 SUITE 130
 WALNUT CREEK, CA 94596
 (925) 939-1378

PERMIT LEVEL DRAWINGS

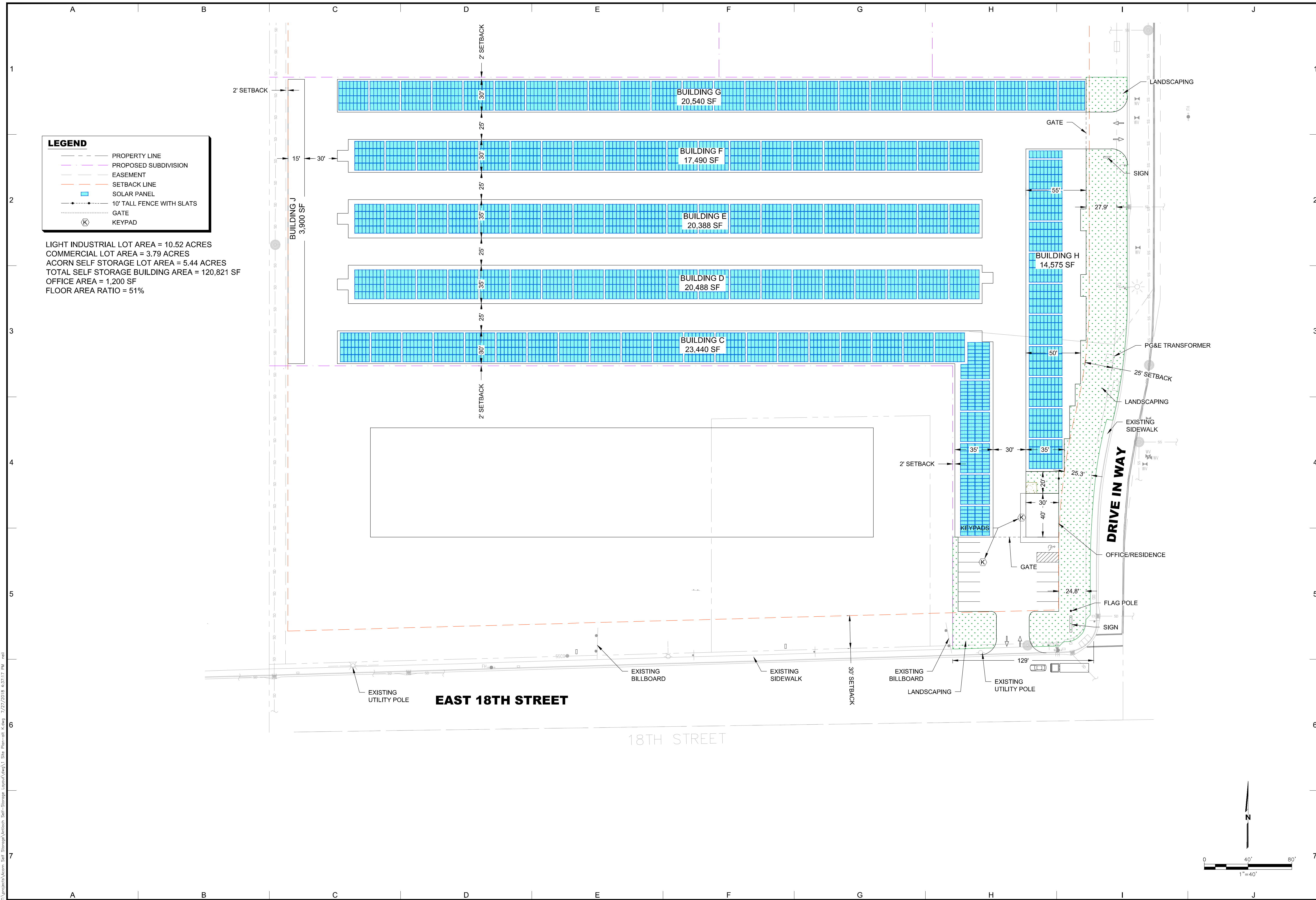
DES BY: NB	DATE: SEPTEMBER 2018
DRN BY: NB	SCALE: AS NOTED
CHK BY: JM	PROJECT: ---
REV BY: JM	FILE: ---
APP BY: JM	

ACORN SELF STORAGE
 5205 RAILROAD AVENUE
 PITTSBURG, CALIFORNIA
 (925) 432-3200

DRAWING NO.
2K



X:\projects\Acorn Self Storage\Antioch Self Storage Layout\Antioch Self Storage Option K.dwg 7/27/2018 4:35:51 PM well



LEGEND

- PROPERTY LINE
- PROPOSED SUBDIVISION
- EASEMENT
- SETBACK LINE
- SOLAR PANEL
- 10' TALL FENCE WITH SLATS
- GATE
- Ⓚ KEYPAD

LIGHT INDUSTRIAL LOT AREA = 10.52 ACRES
 COMMERCIAL LOT AREA = 3.79 ACRES
 ACORN SELF STORAGE LOT AREA = 5.44 ACRES
 TOTAL SELF STORAGE BUILDING AREA = 120,821 SF
 OFFICE AREA = 1,200 SF
 FLOOR AREA RATIO = 51%

NO.	DESCRIPTION	DATE

SHEET TITLE: SELF STORAGE SOLAR PLAN - OPTION K
 PROJECT TITLE: ANTIOCH SELF STORAGE FACILITY

CMI
 engineering and construction
 1111 CHIC DRIVE
 SUITE 130
 WALNUT CREEK, CA 94596
 (925) 939-1378

PERMIT LEVEL DRAWINGS

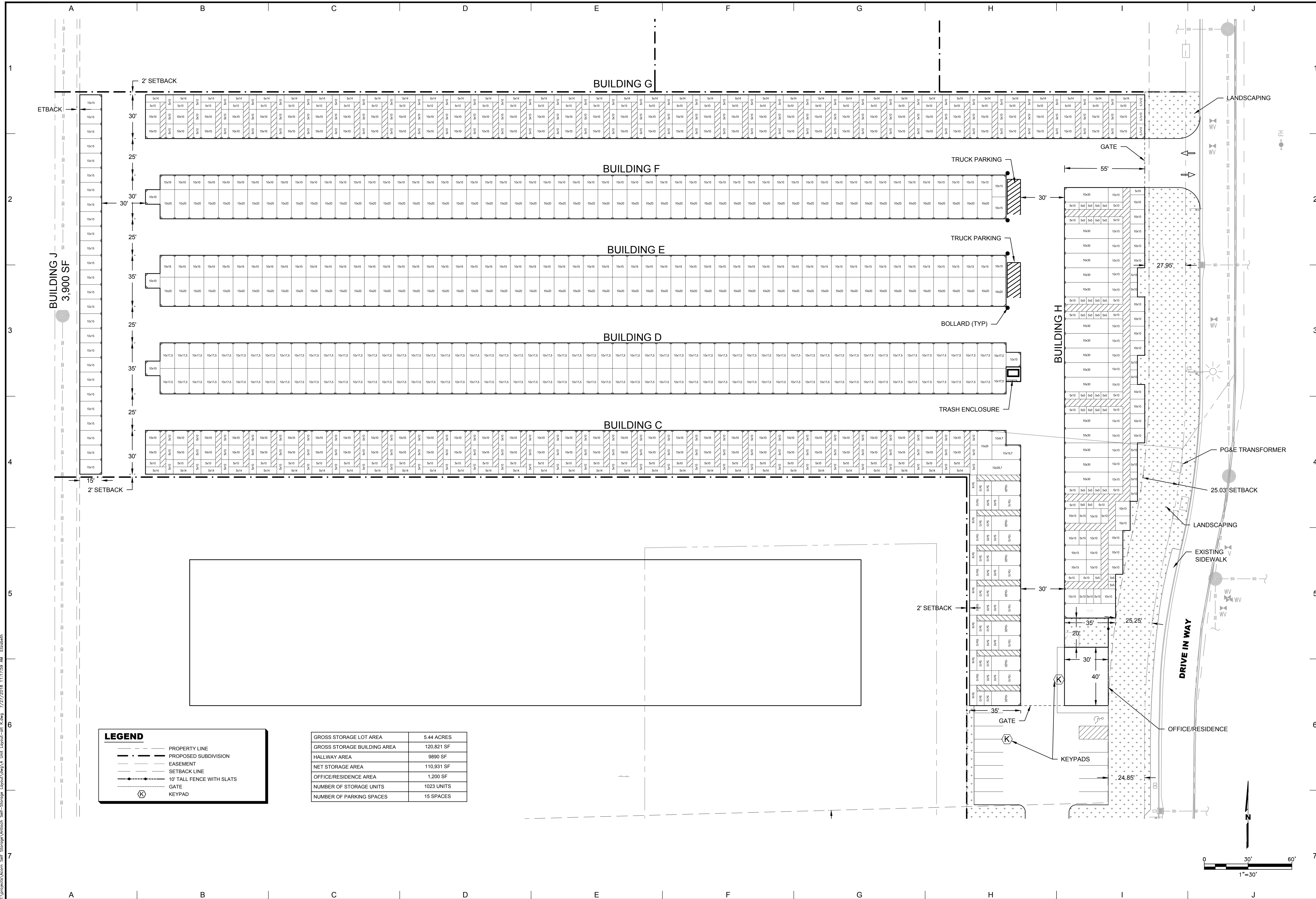
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DRN BY: NB	SCALE: AS NOTED
CHK BY: JM	PROJECT: ---
REV BY: JM	FILE: ---
APP BY: JM	

ACORN SELF STORAGE
 5205 RAILROAD AVENUE
 PITTSBURG, CALIFORNIA
 (925) 432-3200

DRAWING NO. **3K**

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K:\Projects\Acorn Self Storage\Antioch Self Storage\Layout\Map\4 Unit Layout.dwg 7/27/2018 11:17:59 AM Elizabeth



NO.	DESCRIPTION	DATE

UNIT LAYOUT

PROJECT TITLE
ANTIOCH SELF STORAGE FACILITY

CMI
engineering and construction
1111 CIVIC DRIVE
SUITE 130
WALNUT CREEK, CA 94596
(925)939-1378

PERMIT LEVEL DRAWINGS

DES BY: NB
DRN BY: NB
CHK BY: JM
REV BY: JM
APP BY: JM

DATE: SEPTEMBER 2018
SCALE: AS NOTED
PROJECT: ---
FILE: ---

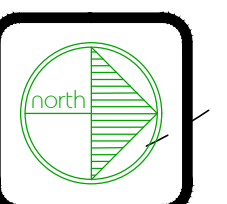
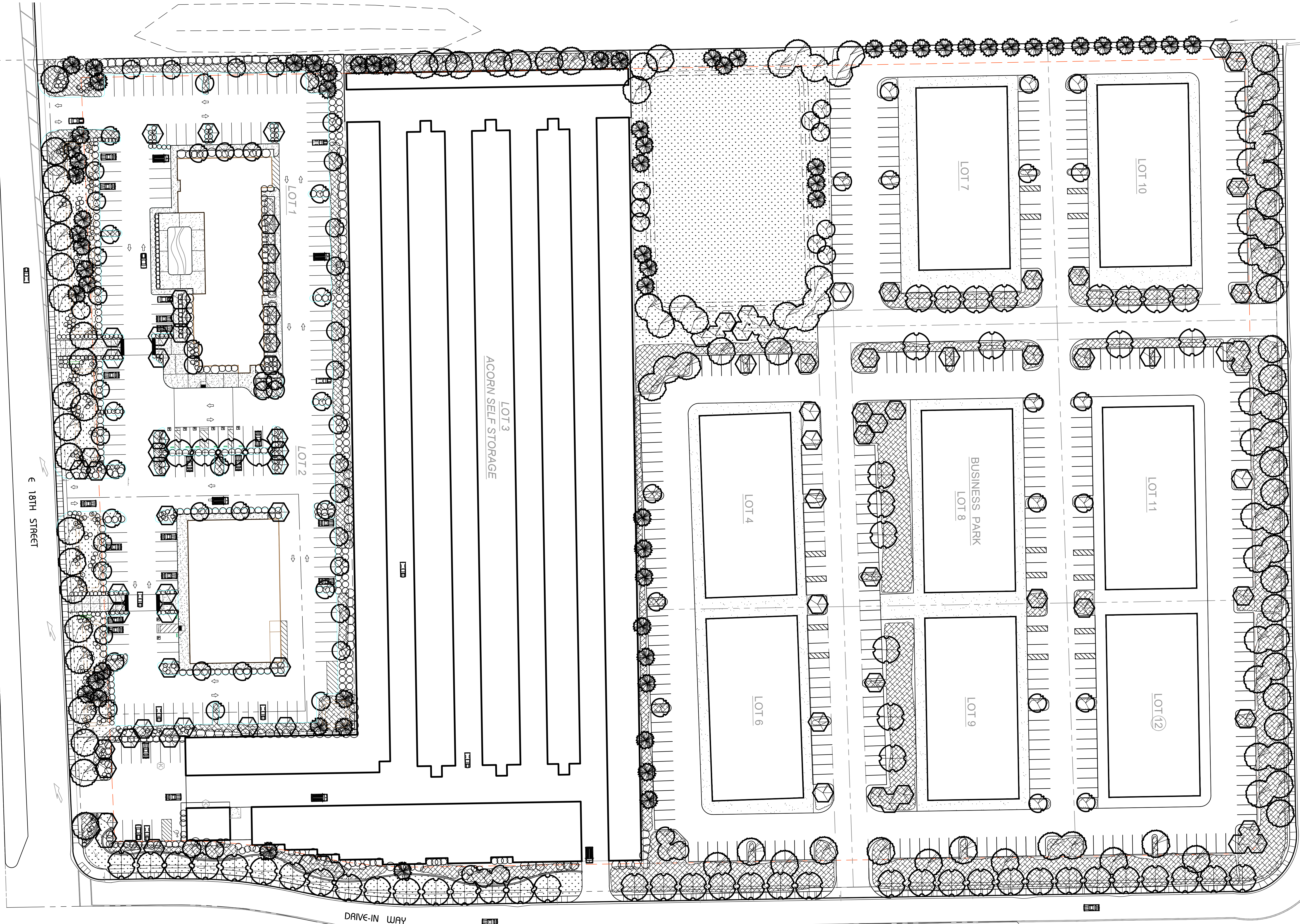
ACORN SELF STORAGE
5205 RAILROAD AVENUE
PITTSBURG, CALIFORNIA
(925) 432-3200

DRAWING NO.
4K


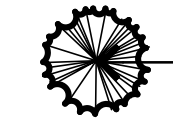


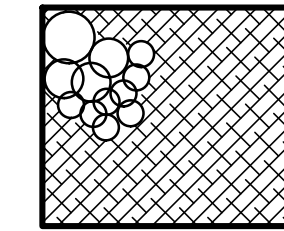

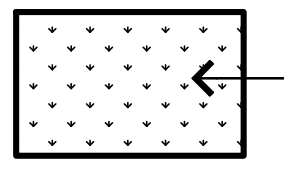
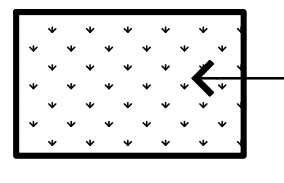
LEGEND

- PROPERTY LINE
- - - PROPOSED SUBDIVISION
- EASEMENT
- SETBACK LINE
- 10' TALL FENCE WITH SLATS
- (K) GATE
- (K) KEYPAD

GROSS STORAGE LOT AREA	5.44 ACRES
GROSS STORAGE BUILDING AREA	120,821 SF
HALLWAY AREA	9890 SF
NET STORAGE AREA	110,931 SF
OFFICE/RESIDENCE AREA	1,200 SF
NUMBER OF STORAGE UNITS	1023 UNITS
NUMBER OF PARKING SPACES	15 SPACES



Planting Legend

	CANOPY TREE (Selection Options): Pistacia chinensis Quercus ilex	24" Box: CHINESE PISTACHE HOLLY OAK	water use: Low Low
	CONIFER (Selection Options): Pinus canariensis Cedrus deodar	24" Box: CANARY ISLAND PINE DEODAR CEDAR	WATER USE: Low Low
	SMALL ACCENT TREE (Optional): Arbutus 'Marina' Cercis candensis Lagerstroemia x.f.	24" Box: N.C.N. EASTERN REDBUD CRAPE MYRTLE	WATER USE: Low Low Low
	VERTICAL TREE (Selection Options): Eucalyptus camaldulensis Liquidambar styraciflua Pyrus c. 'Aristocrat' Acer p. 'Columnare'	24" Box RED GUM SWEET GUM EVERGREEN PEAR NCN	WATER USE: Low Moderate Low Moderate
	LARGE SHRUB (Selection Options): Arbutus unedo Lavatera assurgentiflora Rhamnus californicum	5-Gal: STRAWBERRY TREE TREE MALLOW COFFEEBERRY	WATER USE: Low Low Low
	MEDIUM SHRUB (Selection Options): Arctostaphylos spp. Berberis spp. Correa 'Dusky Bells' Diets irridioides Lavandula spp. Nandina domestica 'Variety' Phormium t. 'Bronze Baby' Pittosporum spp. Raphiolepis u. 'Minor' Salvia leucantha Teucrium fruticans	5-Gal: MANZANITA BARBERRY AUSTRALIAN FUCHSIA FORTNIGHT LILY LAVENDER HEAVENLY BAMBOO NEW ZELAND FLAX PITTOSPORUM YEDDO HAWTHORN MEXICAN SAGE BUSH GERMANDER	WATER USE: Low Moderate Low Low Low Low Low Low Low Low Low
	GROUND COVER (Selection Options): Arctostaphylos spp. Baccharis p. 'Pigeon Point'	1-Gal & Flat: MANZANITA COYOTE BUSH	WATER USE: Low Low
	Bio-Swale: Carex pansa Phyla nodiflora	1-Gal/Sod: SEDGE KURAPIA	WATER USE: Low Low

Notes

- All landscape and irrigation shall conform to the standards of the City and State wide landscape regulations and guidelines and all other Landscape related City and Regional standards.
- All plant materials have been selected in accordance with:
 - + WULCOS Project "Water-Use Classification of Landscape Species" California Department of Water Resources

WATER EFFICIENT LANDSCAPE STATEMENT

The irrigation system shall be designed to meet current water efficient standards and State Water Efficient Ordinance AB 1881 as required by local jurisdictions while achieving the goal of effectively providing the landscape with water by the means of high efficiency spray irrigation to the turf and ground cover areas and drip irrigation bubblers to restrict shrub planting and shrub mass planting area as applicable.

Irrigation systems shall be designed to accommodate recycled water where available either currently or in the future as directed by the Local Water Purveyor. Recycled water systems shall be designed in accordance with Local and State codes.

Irrigation systems for landscapes greater than 5,000 SF shall have a dedicated water meter for irrigation.

A water efficient landscape work sheet shall be included with hydrozone information table, water budget calculations and irrigation operating schedules.

A state of the art ET based self-adjusting irrigation controller shall be specified for this project to automatically control the water allocated to each valve grouped per individual hydrozone (based on plant type and exposure). This shall include rain and flow sensors as applicable for a higher level of water conservation.

Tree bubblers shall be included on separate circuits to isolate the irrigation to trees and provide deep watering to promote a deeper root zone.

Spray irrigation systems for ground cover areas greater than 8' wide in any direction shall be designed with commercial series spray heads with high efficiency nozzles that include internal check valves and pressure compensating devices. The heads shall be designed in a head to head layout to achieve an even level of precipitation throughout the irrigation system. The nozzles will deliver water at a minimum of 70% efficiency with a low precipitation rate that matches the infiltration rate of the soil.

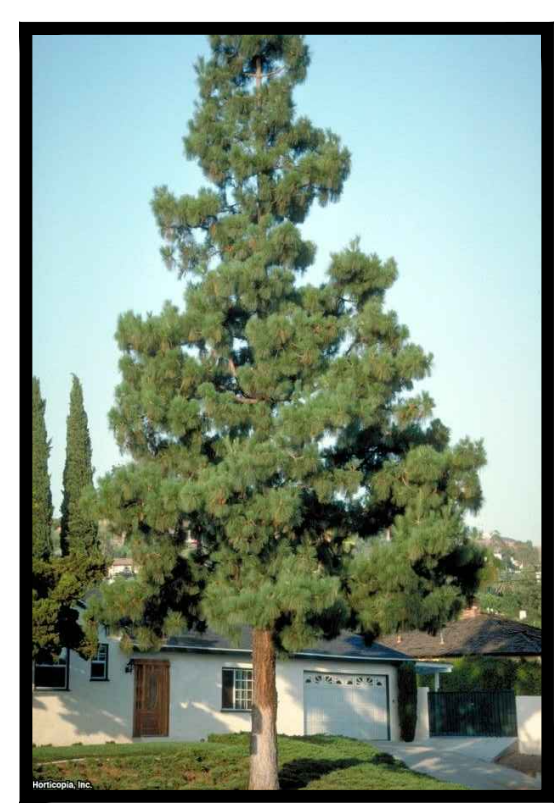
The drip irrigation system will incorporate pressure compensating drip bubblers with 1/4" drip tubes to each plant which delivers water at 90% efficiency at an application rate that matches the soil type.



Quercus ilex



Pistacia chinensis



Pinus canariensis



Cedrus deodar



Arbutus 'Marina'



Cercis candensis



Lagerstroemia xf 'Tuscarora'



Arbutus unedo



Lavatera assurgentiflora



Berberis t. 'Atropurpurea'



Correa 'Dusky Bells'



Diets bicolor



Lavandula spp.



Nandina domestica



Phormium t. 'Bronze Baby'



Pittosporum t. 'Variegata'



Raphiolepis u. 'Minor'



Salvia leucantha



Teucrium fruticans



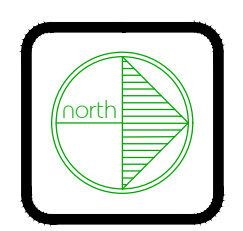
Baccharis p 'Pigeon Point'



Carex pansa



Phyla nodiflora



**Acorn Business Park
Exterior Lighting
E-1**

Filename: Acorn Business Park_07-29-18-AGI

Date: 09/14/2018

Calcs by: **Brian Franco**
Voice: (510)-982-3938
brianf@ltgsys.com



Plan View
Scale: 1 inch= 30 Ft.

Luminaire Schedule						
Symbol	Qty	Label	Description	LLF	Lum. Lumens	Lum. Watts
	97	E1	Hubbell - LNC2-12L-4K-070-4	0.903	2783	29
	4	E2	Beacon - VPS-36L-65-4K7-4W	0.903	7490	65

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Drive Aisles at Storage	Illuminance	Fc	2.51	9.1	1.0	2.51
Parking Lot	Illuminance	Fc	1.81	3.1	1.0	1.81

This report attempts to approximate the maintained light levels and is based on the information provided to Lighting Systems. Please verify data to ensure accuracy of the report. Many factors that can affect field-measured lighting levels cannot be anticipated in the calculation and as such Lighting Systems cannot warranty lighting levels. The product labels/descriptions/part numbers included on this calculation are for photometric purposes only and may need to be revised for real world conditions.