



Creekside/ Vineyards at Sand Creek

Antioch, California

A “California Vineyard” Community Design Guidelines Submittal by GBN Partners, LLC

December 2019

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Creekside / Vineyard at Sand Creek
Antioch, California
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Creekside / Vineyards at Sand Creek Project Design Guidelines Introduction

These Creekside/VSC Project Design Guidelines, the Vesting Tentative Map (Subdivision 9501) and the Planned Development Ordinance (Ordinance No. 20-____) together will continue the vision of the Vineyards at Sand Creek Community in southeast Antioch. The first phase of the VSC community was approved by the City of Antioch in 2016 as the Promenade/VSC Project (Subdivision 9390). This second phase – the Creekside/VSC Project - adopts all the same guidelines which brings the two neighborhoods together in a harmonious design. The design balances the constraints of the public infrastructure needs of southeast Antioch with the beauty and functionality of a “California Vineyard” community that residents will love to come home to.

In order to create a strong, memorable and appropriate landscape and architectural theme, a preferred vocabulary – namely the “California Vineyard” theme - has been established by the Promenade/VSC Project, and is continued with the Creekside/VSC Project, to guide the future residential buildings and architecture.

The standards, coverage, setbacks and densities proposed in this gated community reflect those of other neighborhoods being successfully developed today in other parts of Contra Costa County along the 680 corridor. The VSC Project will show leadership in energy efficiency by pre-planning for solar on rooftops and offering convenient ways of including solar arrays with construction. The project will prioritize water conservation in its choices of drought-tolerant and adaptive plantings, and the absence of traditional front lawns for individual home sites.

But it is the project amenities that will set this neighborhood apart. Residents and their guests will have access to its own Pool Club and park in the northeast extension of the neighborhood adjacent to permanently protected lands surrounding Sand Creek. Residents will find a playful leisure park space for completing the day’s exercise or just spending quality outside time with family or furry friends. A series of creek overlook parks and green spaces will provide restful viewing spots overlooking Sand Creek to the north and towards a natural drainage and hills to the east. The neighborhood will exist within the flat valley, which will allow beautiful views of the surrounding open space and rolling grassy hills from every homesite. Homes along Sand Creek will enjoy unique views of Sand Creek. For outside the neighborhood entry gates, sidewalk connections along these open spaces, connections to two regional trails (East Bay Regional Park District’s Mokelumne Trail, and the City of Antioch’s Sand Creek Trail), and access to great local shopping and area schools will only be a few-minutes’ walk away. The amenities will be special indeed - inside and out.

The Creekside/VSC Project will showcase the beauty and convenience that Antioch has to offer.

Creekside/Vineyards at Sand Creek

Antioch, California

December 2019

**THE CREEKSIDE / VINEYARDS AT SAND CREEK (VSC) PROJECT
DESIGN GUIDELINES**

1.0 INTRODUCTION	The Creekside Project is the next phase of the Vineyards at Sand Creek Community, which was started in 2015 with the Promenade Project north of Sand Creek. The intent of these guidelines is to customize the City of Antioch's Residential Design Guidelines for the Creekside/Vineyards at Sand Creek Project to be developed as either an unrestricted single-family neighborhood, or as a restricted Active Adult Community (separately or combined). Similarly to the Promenade Guidelines, these Creekside / VSC Guidelines, conceptualized with the corresponding neighborhood landscaping, entry and architectural renderings by vander Toolen Associates, Landscape Architects (dated November 2019) and Dahlin Group, Architects, are to be used in place of the City Guidelines in evaluating the future neighborhood construction plans. These VSC Guidelines meet or exceed the City's standards and will ensure that this single-family residential development will be architecturally diverse, pedestrian-friendly, sustainable, and a new source of pride for the City of Antioch.
2.0 DESIGN OBJECTIVES	The Design Objectives of the VSC Guidelines echo those of the City's Guidelines. Namely, these VSC Guidelines will create a project that recognizes and fulfills the different economic, social, and physical needs of its residents; they will create a human-scaled, bicycle and pedestrian-friendly environment; they will create visual diversity and neighborhoods with a unique sense of place; and they will incorporate pedestrian connections between the neighborhood and neighboring uses.
	The new Creekside/VSC community is a private community (that may be gated) that incorporates physical and pedestrian connections between internal neighborhoods to help create a unified community. In addition, the project constructs public sidewalks, two Sand Creek bridge crossings, and regional trail connections that will also benefit pedestrians outside the gated community.
3.0 SITE PLANNING	The Creekside / Vineyards at Sand Creek Project will be a desirable place to live. The proposed neighborhood is pedestrian-scaled and will have a high-quality streetscape to enjoy both as homeowner and as neighbor.
	The new Creekside/VSC community creates usable public open space that will provide expanded public access and enjoyment along Sand Creek. The extension and improvement of the public road (Hillcrest Avenue) with sidewalk and bike lanes will give this neighborhood access to schools, open space and the variety of commercial uses – with the closest Antioch retail uses being located along Lone Tree Way.
4.0 PROJECT ENTRY AND CHARACTER	The Creekside/Vineyards at Sand Creek Project uses special paving at the entrance, and architectural elements and landscape treatments that set the overall "California Creekside Vineyard" neighborhood theme. The project includes a hierarchy of design from the edges, to the entries, to the individual neighborhoods to distinguish itself from other neighborhoods.
	The new Creekside/VSC community will be distinguished at its edges and entries by drought-tolerant and vineyard-themed landscaping. The main entry will reflect the overall architectural identity and character of the project and further augmented by the use of lighting, larger specimen trees, landscaped medians, natural material wall features, textured asphalt/paving treatments and/or project signage.

5.0 CIRCULATION	The Creekside / Vineyards at Sand Creek Project circulation system efficiently connects all parts of the neighborhood together and accommodates all modes of transportation (cars, bikes, pedestrian and transit). Behind the entry, the city-standard sized (though private) neighborhood streets allow for parking on both sides, and a comfortable 4-foot sidewalk on one side. All paths interconnect, and offer destinations including Creekside-viewing park spaces or the Community Amenity Site. Outside the entry, the project improvements will complete the construction and extension of Hillcrest Avenue including a bridge over Sand Creek. Hillcrest Avenue will have a 5-foot wide sidewalk and signalized intersections. Pedestrian connections to two regional trails - the Mokelumne Regional Trail and the soon-to-be-constructed Sand Creek Trail to the north - are within an easy walk from the project entry or from the new pedestrian/EVA bridge over Sand Creek. For longer trips, a Tri-Delta Transit bus stop could be accommodated conveniently at the entry, if the agency desires.
5.0-1	The majority of the VSC Project block lengths are less than 400-feet long, and all remain in compliance with the City of Antioch's Zoning ordinance. Since the previous Promenade/VSC Project traffic study identified potential future concerns related to excessive speed on streets that exceed 600-feet, this Creekside/VSC Project will include speed humps in identified locations on the Subdivision 9501 Vesting Tentative Map, designed in accordance with ITE standards.
5.0-2	The site is generally level and is constrained by Sand Creek on the north, two hillsides on the west and east, and a seasonal drainage-way on the east. The Project contains two culdesacs, which are used to accommodate these topographical constraints. Otherwise, the Creekside/VSC Project is designed to interconnect all parts of the neighborhood to each other and the neighborhood amenities.
5.0-3	The VSC Project's two culdesacs open the neighborhood up to protected and natural creekside views, which do not allow making a further bike/pedestrian connection from either. Therefore, the culdesacs in the VSC Project will offer the standard connection to the street.
5.0-4	Signal infrastructure at the VSC Project entry will enhance safety for pedestrians and bicyclists and will facilitate connections to adjacent residential and non-residential areas.
5.0-5	The Creekside/VSC Project, as a private community, provides unique benefits to its residents. A 6-foot wall encloses the neighborhood along the main arterial (Hillcrest Avenue) like many of the subdivisions in Antioch, but entry to the neighborhood will be restricted to two entries – potentially with resident-controlled access - and two EVAs. Past these entries, the residents - rather than the Public - will be required to maintain the private improvements that are ultimately built such as a Private Community Pool Club, creekside and neighborhood park spaces, streets, and other utilities. The controlled access will ensure that wear and tear and maintenance of these community improvements is only made by residents and their guests.
5.0-6	Shrub planting and low fencing is used in the Creekside/VSC Project where the public will experience a pleasant view of the neighborhood. See-thru wrought iron fencing will provide residences along the northern boundary a view towards Sand Creek, residences along the eastern boundary a view of the eastern drainage-way and grassy hill, and residences along the southern boundary a view over community open space and private agricultural land. Landscape will be used to soften the extent of the higher walls along Hillcrest Avenue. If screening is necessary to "hide" a facility or adjacent use, it would be designed appropriate for the need.
5.0-7	The Creekside/VSC Project is set up in a traditional grid pattern which affords orderly and direct connections to all areas of the development. Other than two culdesacs which provide neighborhood views of the surrounding open space and protected lands, there are no dead-end streets proposed.
5.0-8	The circulation network weaves itself through, and works with the many layers of, the Creekside/VSC Project experience. The private street widths remain consistent with the city-standard width, which allows convenient street parking for guests. A sidewalk on one side of these private streets will be shaded by a tree on each lot, and the lot tree on the non-sidewalk side moves the tree closer to the street. This creates a more protected, welcoming pedestrian experience. Walls and fences, site furniture, pedestrian lighting and landscaping will identify community pathways. Homes with varied front setbacks and with useable front porches will create a very human scale for community interaction along the residential streets.
5.0-9	Peripheral lighting in the Creekside/VSC Project community areas will be provided for security and with neighboring residences in mind.
5.0-10	Creekside/VSC Project neighborhood streets remain at City standard widths with a sidewalk on one side. Trees planted on both sides, homes with varied setbacks and speed-bumps installed on the blocks longer than 600-feet will work to slow traffic and create an environment suitable for pedestrians and bicycles.
5.0-11	The Creekside/VSC Project typical neighborhood street has a 4-foot sidewalk on one side and lots are separated from the roadway by an expanded landscape area (8-foot and 7-foot) on either side of the street. The landscape strip will be irrigated and maintained by the adjacent private owner.

5.1 Building Placement	"Enhance the quality of the streetscape and avoid a repetitive and regimented appearance."
5.1-1	With private agricultural lands and Mount Diablo to the south, Sand Creek to the north and grassy hillsides framing the west and the eastern views, the Creekside/VSC Project takes advantage of the view opportunities from individual home sites and at the community spaces. The VSC Project does not have views of the San Joaquin River.
5.1-2	Architectural diversity in the VSC Project neighborhood will be enhanced by varying the lot width and depth, the style, the second-floor setback, and the front yard setbacks. Side yard setbacks are increased 5-feet on corner lots. In many neighborhoods, building heights may be the same but architectural style and roof forms will be varied every third house which will create diversity in the streetscape (see example Exhibits A-3 and A-4).
5.1-3	No two identical floorplans shall be placed on adjacent lots and no two identical floorplans directly across from each other unless they are a different elevation style in the Creekside/VSC Project.
5.1-4	The privacy and personal enjoyment of future Creekside/VSC Project residents will be taken into consideration by alternating the placement of windows; minimizing window locations directly across from each other and by offering rear yard covered patios called "California Rooms". A "California Room" therefore is a covered area without walls, screens or windows on two or more sides and can be covered by a solid-roofed or trellis-like structure. (See example Exhibit A-5) In order to avoid the appearance that a rear-yard Covered Patio with a solid covered roof is merely a continuation of the first floor, <ul style="list-style-type: none"> • Only the open side of the California Room may encroach into the required setbacks; • A California Room with a solid roof (not trellis) is limited to cover no more than 33% of the required rear yard; and • The Creekside/VSC Project CC&R's will include language to deter homeowners from further enclosing these solid-roofed California Rooms and taking them out of their intended outdoor-enjoyment use. Varying front yard setbacks will also work to minimize windows on adjacent properties being located directly across from each other.
5.1-5	The VSC project shall comply with Title 24 regulations which are building efficiency standards for residential and non-residential new construction, additions or alterations.
5.2 Street Orientation	"Orient homes towards the street for sense of belonging and community."
5.2-1	Homes in the Creekside/VSC Project shall be sited to define the street and clearly define the private home entry from adjacent community space, where applicable.
5.2-2	In the Creekside/VSC Project, residential development on single-loaded streets will look onto adjacent private open space, such as the grassy hillsides to the west and east.
5.2-3	The intrusion of glare from headlights can be problematic for homes placed on lots near the center of "T" intersections. The Creekside/VSC Project shall use a combination of either slightly offsetting lots, or strategically placing garage fronts or landscaping to intercept the direct intrusion of glare into living space.
5.3 Parking Orientation	"Parking lots and garages should be as invisible as possible."
5.3-1	The Creekside/VSC Project architecture shall limit one plan per lot size to a garage-forward design. All other house plans will vary the garage door placement and layout to de-emphasize the garage. Techniques that may be used in the VSC Project include: <ol style="list-style-type: none"> 1. Recessing garage door behind the main living portion of the home; 2. Garages shall be architecturally compatible with the style of the home and will be offered with commercially available color and articulation options, as economically feasible; or 3. Architecture will incorporate garage door options that are compatible with the style of the house.
5.3-2	Garages shall be used for vehicle parking and not used for storage.
5.3-3	The Creekside/VSC Project does not require additional parking lots for guest as all required guest parking is provided on the street convenient to the residential units. Additionally, "extra" parking is provided on the streets around the Community Amenity Site and the creekside and neighborhood park spaces, for convenient resident use. Small parking lots may be additionally incorporated into the Community Amenity Site if project proponent market information at the time the building drawings are submitted confirms resident preferences for such parking.

5.4 Storage	"Provide adequate private storage in each residence, garage and in rear yards."
5.4-1	The VSC architecture shall include options for how the future homeowner can include an additional 150 cubic feet of useable storage space on the property. These options will include a combination of square footage or wall-mounted cabinetry and shelving in the garage, or closets not dedicated to other uses in the home.
5.4-2	Residential storage areas shall not be allowed on balconies or porches visible from the public right of way.
5.5 Grading & Drainage	"Create landforms that work with topography, existing vegetation and circulation and land features."
5.5-1	Grading shall be in compliance with provisions of the Antioch Municipal Code.
5.5-2	The Creekside/VSC project respects the natural constraints of the site, and is located entirely upon the flatter elevations, leaving the grassy hillsides to the west and east as private open space.
5.5-3	The Creekside/VSC property proposes drainage facilities and paths in accordance with adopted policies, and avoids natural areas. Drainage from the natural areas (grassy hills and creek and seasonal drainage-way area) remain separate from the development areas, and the character of their clean water drainage is preserved.
5.5-4	The Creekside/VSC Project cuts and fills onsite (both private and public) are proposed at a maximum 2:1 slope unless stabilized by a retaining wall. Optional retaining walls less than 4-feet tall within some of the VSC Project lots will be constructed with a split-faced type of block. No permanent retaining walls exceeding 4 feet are proposed in the Public right-of-way.
5.5-5	Excessive cut and fill shall be avoided by following natural contours whenever possible.
5.5-6	Slopes shall be rounded and contoured to blend with the existing terrain and to minimize grade differentials with adjacent private properties. Manufactured slopes shall not be a dominant site feature. No changes to the City Guidelines are proposed, although this guideline is not generally applicable to the Creekside/VSC Project.

6.0 ARCHITECTURE	
6.1 Architectural Style	The Creekside/VSC Architectural Style is generally in keeping with the vineyard theme, and the root of this style is found primarily in the wine regions of California. The traditional Californian styles of the "California Vineyard" include Tuscan, Spanish and Monterey. The newer Californian styles include Shingle and American Farmhouse. A minimum of three styles per plan - from a palette of four per product neighborhood (Lot Size Type A, B and/or C) will be used. The primary roof pitch of at least one of the utilized styles will differ from the other two styles in order to provide variation in overall heights of the homes. This architectural variety result in a very nice streetscape. The style will enhance the character of Antioch, and when grouped together, will complement each other and create a unique neighborhood identity.
6.2 Street Environment and Building Frontage	"Development shall efficiently use the site and relate to the street."
6.2-1	Front porches are encouraged to create an attractive interface with semi-public front yard areas. Porches shall match the scale and be integral to the architectural design of the home.
6.2-2	The front entry shall be the focal point of the home. Roof elements, columns, porticos, or other architectural features shall be utilized.
6.2-3	Garages in single-family residential neighborhoods shall be subordinate to the front of the house, and garages forward the house façade shall not dominate the streetscape.
6.2-4	The height, mass, and appearance of residential units shall include some variation to provide visual interest to the streetscape. The lower floor of a two-story house shall use architectural accents, texture and/or color to add detail and interest.
6.3 Building Form & Articulation	"Vary wall planes, wall height, roof forms and heights to reduce the perceived scale of the structure."
6.3-1	The Creekside/VSC Project residential homes shall incorporate enhanced articulation of the front and visible (end-of-block or visible from a public street or public pedestrian pathway) facades. Articulation can be accomplished with variation in massing, roof forms, wall planes, or surface articulation. Some detailing on side elevations is encouraged, and when stone or enhanced front detailing is included in the front elevation, such detailing shall wrap side yard elevations of the house 2-4 feet or to a logical terminus such as a window or side-yard fencing. Pop-outs and encroachments into the yard setbacks are as allowed by the Municipal Code Section 9.5.801.
6.3-2	Elements and details of homes shall be true to the chosen architectural style.
6.3-3	In addition to integrated and distinctive massing, surface detailing can be used to assist the perception of massing in the VSC Project.
6.3-4	Architectural elements that add visual interest, scale, and character such as recessed or projecting balconies, trellises, recessed windows, awnings that create shadows that contribute to a structure's character, and porches are encouraged if economics allow.
6.3-5	The use of chimneys as architectural elements rather than hidden with a wall surface shall be encouraged if economics allow. If included, chimney caps shall be decorative and spark arrestors concealed.
6.3-6	Variation in mass and building height in the Creekside/VSC Project Medium Low Density private community shall be accomplished by the use of the different architectural styles with different roof forms, and single-story elements on front elevations. If developed as an unrestricted Single-Family neighborhood, all homes are expected to be two-story detached, except that one floorplan for a "Single-Story Profile" home shall be included in available styles for Lot Type C (50'x90'). A "Single-Story Profile" home has the second story being primarily tucked under the roofline of the first floor (See example Exhibit A-4). At least one of the three single-story profile plans will vary the roof pitch between elevation styles. A neighborhood of Lot Type A (45' x 80') and Lot Type B (50' x 80') if proposed, shall not be required to provide a single story or single story profile home, but rather the varying styles and palettes of the underlying California Vineyard architectural style will combine to result in interesting massing and heights. If developed as a restricted Active Adult Single-Family neighborhood, all homes may be single-story, and include the option of a zero lot line duet product on all Lot Types. The variation in building form shall be accomplished with the use of different architectural styles with different roof forms and elements on front elevations, or with the addition of two-story homes.
6.3-7	The Creekside/VSC Project will create an appealing streetscape with a variety of architecture, setbacks and single-story elements on front elevations.

6.3-8	Massing shall accentuate entries and minimize garage prominence.
6.3-9	Porches shall be a minimum of six feet deep with materials and/or details that are authentic to the architectural style of the home
6.4 Building Height	"Use varied heights, front setbacks and architecture to create visual interest in neighborhood."
6.4-1	<p>In order to encourage a mix of building heights in an unrestricted Single-Family neighborhood, the Lot Coverage (gross first floor area divided by the lot area) shall be:</p> <ul style="list-style-type: none"> .54 for two story homes on any Lot Type (A, B or C) in the neighborhood, or .60 for single-story profile homes on Lot Type C. <p>In order to encourage variation of building heights/roof forms in a restricted Active Adult single-family neighborhood, the Lot Coverage (gross first floor area divided by the lot area) shall be:</p> <ul style="list-style-type: none"> .60 for Active Adult single-story homes on any Lot Type A or B; .63 for Active Adult single-story homes on Lot Type C; or .54 for two story homes on any Lot Type (A, B or C) in the neighborhood. <p>The square footages of Front Porches and Covered Patios open on at least two sides are not considered part of this Lot Coverage calculation (See Exhibit A-3).</p>
6.4-2	<p>The gated Creekside/VSC Project developed as an unrestricted Single Family neighborhood shall not require any single-story homes. Rather, Lot Type 3 will include a single-story profile home plan on at least 25% of the lots, but will essentially remain a two-story home.</p> <p>If developed as a restricted Active Adult neighborhood, all homes are expected to be single-story homes –either detached or as duets, based upon market preferences. No two story homes shall be required in an Active Adult neighborhood.</p>
6.4-3	<p>The private Creekside/VSC Project neighborhood developed as an unrestricted Single-Family neighborhood shall not be required to include a single-story home on corner lots. Rather Lot Type C neighborhoods will include a single-story profile home plan on at least 25% of the corner lots.</p> <p>If developed as a restricted Active Adult neighborhood, all homes are expected to be single-story homes, and therefore placing a single-story home on 25% of the corner lots will be achieved.</p>
6.4-4	Depending on architectural style, two-story residences shall emphasize first story architectural features.
6.4-5	The second story of a house in the Creekside/VSC Project shall be designed to reduce the appearance of the overall scale of the structure depending on the chosen architectural style. Possible techniques include setting the second story back from the front of the first story, providing larger front setbacks for the entire structure, and/or placing at least 60 to 70% of the second story floor area over the back half of the first story (See Exhibit A-3).
6.4-6	A second story in the Creekside/VSC Project shall not exceed 84% of the first floor square footage.
6.5 Roof & Upper Story Details	"Create visual diversity with multiple rooflines but be consistent with the architectural style."
6.5-1	A variety of roofs shall be incorporated throughout the development (e.g., gabled, hipped, dormers, etc.).
6.5-2	Multi-form roofs, gabled, hipped, and shed roof combinations are encouraged to create varying roof forms, and break up the massing of the building.
6.5-3	Creating visual interest with variations in ridgeline height and alignment shall be encouraged if appropriate to the architectural style, and economics allow.
6.5-4	Where applicable to the architectural style, roof eaves shall extend a minimum of 18 inches from the primary wall surface to enhance shadow lines and articulation of surfaces.
6.5-5	Roof overhangs shall be sized appropriately for the desired architectural style.
6.5-6	Gable ends shall face the street if appropriate to the architectural style.
6.5-7	Exposed gutters and downspouts, unless designed as an outstanding architectural feature of the overall theme, shall be colored to match fascia and/or body color.

<u>6.6 Building Materials & Finishes</u>	"Use of high quality materials creates the look of permanence. Vary materials and colors for visual interest in facades and avoid monotonous appearance."
6.6-1	Key portions of the facade shall be enhanced with special materials and color.
6.6-2	Material changes shall occur at intersecting planes, preferably at inside corners of changing wall planes or where architectural elements intersect (e.g., chimney, pilaster, projection, fence line, etc.).
6.6-3	Contrasting but complementary colors shall be used for trim, windows, doors, and key architectural elements.
6.6-4	Roof materials and colors shall be consistent with the desired architectural style as identified in these Creekside/VSC Design Guidelines.
6.6-5	Projects of three or more homes shall provide a minimum of three distinctly different color/material palettes per architectural style.
6.6-6	Heavier materials shall be used lower on the structure elevation to form the base of the structure.
6.6-7	Paving materials shall be compatible with the project aesthetic. Permeable paving materials are encouraged as economics allow.
6.6-8	Stucco may be an appropriate building material if careful attention is paid to ensure it is appropriate to the architectural style of the house (i.e., the creamier stucco colors and finishes of a Spanish eclectic home would be appropriate).
<u>6.7 Windows, Doors & Entries</u>	"Design with architectural style."
6.7-1	Entrances shall be enhanced by using lighting, landscaping, and architecture detailing.
6.7-2	The main entrance to a home in the Creekside/VSC Project shall be clearly identifiable and shall be articulated with projecting or recessed forms so as to create a covered landing that will provide for shelter from the weather. Main entry doors located on a side of a home shall have a clearly identifiable path of travel.
6.7-3	Window type, material, shape, and proportion shall complement the architectural style of the building.
6.7-4	The location and type of window shall conform to the adopted efficiency requirements outlined by Title 24.
6.7-5	In order to enhance privacy in the Creekside/VSC Project, windows on side elevations shall be encouraged to be staggered and not be positioned directly opposite of the adjacent structure's windows.
6.7-6	Windows shall have mullions appropriate to the architectural style of the structure.
6.7-7	Where architecturally appropriate, windows shall be enhanced with trim, shutters, awnings, and attempt to have a recessed shadow line.
<u>6.8 Garages</u>	"Well integrated garages that don't dominate front facades."
6.8-1	Garage doors shall be recessed four to six inches from the face of the garage.
6.8-2	Generally, garage doors facing the street shall be set back from the exterior face of the main house to help reduce their visual impact. Only one plan per Lot Type shall have a garage-forward design.
6.8-3	Garage doors shall incorporate panels and/or windows to articulate large planes.
6.8-4	Garage standards shall be: Interior dimensions: twenty by twenty feet; Minimum garage door width of nine feet single, sixteen feet double; Seven feet minimum height.
6.8-5	The ratio of garage frontage to the width of the house shall not be greater than 55 percent for Lot Type A, and shall be no greater than 50% for Lot Type B and C.
6.8-6	Roof forms, trellises, and balconies located directly above the garage door shall be encouraged to help minimize the impact of garage doors on the street scene if appropriate to the architectural style.

6.9 Compatibility with Adjacent Properties	"New development shall vary from adjacent neighbors in architectural style, height and material selection while still relating to the overall theme of the larger development as a whole."
6.9-1	The same floor plan or exterior colors for dwelling units shall not be placed side by side.
6.9-2	Homes directly across the street from one another should not have the same floor plan. In such unavoidable cases, they shall have different elevation styles.
7.0 LANDSCAPING	"Use Landscaping to define entrances, to provide buffer between incompatible uses and to provide screening when necessary."
7.0-1	The Creekside/VSC proposed plant palette shall use drought tolerant materials with various heights, textures and colors.
7.0-2	Plant material placement shall not interfere with lighting, clear line of sight or restrict access to emergency equipment. Tree setbacks in the VSC Project shall be: 6-feet from paved surfaces, 5-feet from water meters and joint trenches, 10-feet from streetlights, and 10-feet from sanitary sewer lines. All shrub materials planted in parkways or at intersections shall not exceed 3-feet in height.
7.0-3	Large specimen trees in the Creekside/VSC Project shall be strategically located within the development. Potential locations include at the project entry and at the Community Amenity Area. These locations will convey a sense of arrival with an established appearance.
7.0-4	Creekside/VSC Project tree selections shall consist of high branching species that require minimal maintenance. Drought tolerant trees will consist of natives and adaptive species of low fire values.
7.0-5	Creekside/VSC Project trees and shrubs shall be spaced to achieve optimum growth at maturity.
7.0-6	Creekside/VSC Project plant materials will be selected from the City of Antioch's recommended street tree list. Root barriers shall be installed when trees are unavoidably less than five feet from paving/curb surfaces.
7.0-7	Landscaping efforts shall be coordinated with adjacent property owners whenever possible to provide a consistent aesthetic or reasonable transition.
7.0-8	Creekside/VSC Project streets shall be planted with shade trees to provide a pleasant pedestrian environment and contribute to streetscape continuity.
7.0-9	Individual lot landscaping shall be compatible with the architectural style, size, and massing of the individual home creating a diverse landscape street scene. Drought tolerant landscape material variations will occur between lots and architectural product styles of the Creekside/VSC Project.
8.0 WALLS	"Walls to be designed to complement the architecture of the project and should be heavily landscaped."
8.0-1	Wall heights in the Creekside/VSC Project will maintain a consistent height of 6-feet unless sound attenuation and/or grade differences between pads require otherwise.
8.0-2	Creekside/VSC Project perimeter walls should be architecturally enhanced and should use materials and colors that complement the neighborhood's architectural style.
8.0-3	In conjunction with landscape enhancements, Creekside/VSC Project perimeter walls shall be either precast concrete (Sierra Precast Lighthouse, or equal) with stone veneered pilasters at property lot line intersections, or Proto-Two Fence walls with cap and stone veneered pilasters at property lot line intersections.
8.0-4	Creekside/VSC Project walls shall be constructed of natural materials such as plaster or smooth stucco finish, brick, flagstone, slump stone, split face block or other approved masonry, determined as economics allow. Walls shall be designed in a style, material and color to complement the house and neighborhood. Unfinished precision masonry block is not permitted in a permanent situation.
8.0-5	Side yard and rear yard walls should be no higher than six feet. Front yard walls should be a maximum height of three feet.
8.0-6	Walls should be constructed as low as possible while still performing screening, noise attenuation, and security functions with a maximum height of 6 feet unless additional height is required for noise attenuation.
8.0-7	Creekside/VSC walls required for screening purposes should be constructed of non-transparent materials and incorporate standards to provide for wall inserts and/or decorative columns or pilasters to provide relief if complimentary to the project architecture and as economics allow.

8.0-8	VSC Project non-transparent perimeter walls and/or fences shall be architecturally treated on the public side of the wall and incorporate landscaping whenever possible. Architectural treatment of the private side of the wall shall be encouraged as economics allow.
8.0-9	Walls on sloping terrain should be stepped to follow the terrain.
8.0-10	In designing sound walls, rhythm and sequence should be employed to establish consistent, recognizable patterns that create a sense of familiarity and comfort. Rhythm and sequence should be created using both articulation in the barrier wall and/or landscaping.
8.0-11	VSC Project sound walls shall be either precast concrete (Sierra Precast Lighthouse, or equal) with stone veneered pilasters at property lot line intersections, or Proto-Two Fence walls with cap and stone veneered pilasters at property lot line intersections.
8.0-12	Sound walls shall be softened through the use of plants that camouflage their hard edges (e.g. cap, base, and ends) such as vines and base plantings. Landscape materials (trees, shrubs, vines) will also break up the expanse of the wall body, and take into consideration rhythm, sequence, and spacing based on speed of adjacent streets.
9.0 FENCES	"Fences can be solid or open and can be constructed of various materials."
9.0-1	Fences are an integral part of the streetscape. 6-foot tall rear and side yard (wood fences for privacy and view fences for open space enjoyment) shall be consistent throughout the Creekside/VSC Project, and therefore coordinated with the style of the neighborhood.
9.0-2	Fences and hedges in the required front yard setback shall be less than 36 inches in height.
9.0-3	Either no front yard fencing or low (three foot high) classic garden fencing or retaining walls (sandstone) are preferred
9.0-4	Fencing in the Creekside/VSC Project shall be encouraged to be constructed of authentic materials such as natural woods, common brick, stone, river rock, clinker brick, wrought iron or wooden beams if economics allow. However, vinyl and other manufactured fencing materials are acceptable if the overall appearance appears natural. No wire fencing is allowed.
9.0-5	Whenever possible, Creekside/VSC Project homes adjacent to common open space areas should have wrought iron grillwork or view fences to provide visual access to open space unless limited by the need for noise protection, security or privacy.
9.0-6	The recommended Creekside/VSC Project standard for wrought iron is 1/2 to 3/4 inch thick pickets, at a maximum of four inches on center, with pilasters every 8 feet on center. Powder-coating of all wrought iron fencing is required to reduce the potential for rust. No sharp projections are allowed to protrude above the fence.

10.0 COMMUNITY FACILITIES AND OPEN SPACE	"Neighborhood spaces and pedestrian features as important places for residents to gather, socialize and play. Community facilities and open space must be safe and secure. Provide spaces for small intimate meetings or larger gatherings. Spaces/Amenities shall be centrally located and serve a variety of functions. Incorporate natural site features whenever possible."
10.0-1	<p>The size and scale of the neighborhood amenities in the Creekside/VSC Project are appropriately scaled for this 220 unit residential community. The project provides almost 4 acres of park space (the 3.26-acre Community Amenity Site, Park and Trail, a 0.17 acre creek overlook park and a 0.49 private park), and over 77-acres of privately-owned permanent open space. Trees and landscaping are prioritized along the streets, and the main project detention basin is discreetly tucked around the eastern hillform. The private Community Amenity Site has been specifically sized to serve a neighborhood of this size.</p> <p>If developed with a restricted Active Adult neighborhood, programming of the private park parcels within the community may necessitate adjustment of these spaces in response to the needs of Active Adult residents.</p>
10.0-2	<p>The Community Amenity and park sites have been thoughtfully located in the site plan, with the Community Amenity being located picturesquely adjacent to Sand Creek. The northern-located park affords additional relaxing views of Sand Creek. The neighborhood park on the southern boundary will be connected to the larger community by generous sidewalks, and will be a perfect place for a Par Course exercise routine for the resident, and even for their furry friends.</p>
10.0-3	<p>The Creekside/VSC Project Community Amenity Site with adjacent parkland and trail connections to the north will offer activities and amenities for all the targeted age groups. A lap pool will provide recreational, as well as competitive swim opportunities for the residents. A separate shallow children's pool offers young families or grandparents and grandchildren a place to meet and socialize. An adjacent trellis structure with tables and chairs will provide a gathering area, as well as provide shade. The addition of a BBQ unit, a covered picnic area and proximate location of restrooms in the clubhouse will further enhance the family experience making the Community Amenity Site a neighborhood destination. The neighborhood parks compliment the Community Amenity Site with free and structured play activities including areas large enough for pick-up soccer games, and ample walkways. In addition, the areas are large enough to host many other amenities including a children's play structures, a covered group picnic area, restrooms, or an enclosed dog park. The Community Amenity Site and neighborhood parks may offer parking lots if market information at the time the project drawings are submitted, confirms resident preferences for such parking.</p>
10.0-4	<p>All park spaces in the Creekside/VSC Project have residences facing towards or siding-on the community amenities, which promote site safety.</p>
10.0-5	<p>All Creekside/VSC Project open spaces and community facilities are easily accessible from all residential units via the project streets and sidewalks. Resident access to the surrounding open space is similarly facilitated with connected sidewalks and safe signalized intersections.</p>
10.0-6	<p>In addition to parks, an additional community benefit feature in the Creekside/VSC Project are the western and eastern grassy hills, which will remain in private ownership, as open space. The Creekside/VSC Project provides many opportunities for nearby accessible outdoor activities including walking, jogging, and biking trails. The Creekside/VSC Project offers internal and external connections and destinations, and benefits from its close proximity to surrounding open space and its bridge connection to the Sand Creek Trail. The Sand Creek Trail is a 10-foot wide open space trail along the north side of Sand Creek. The Trail is designed to accommodate all users, and includes strategically located benches which offer rest stops and gathering nodes.</p>
10.0-7	<p>Development on private lands to the south of the Creekside/VSC neighborhood is contemplated by the Antioch General Plan, but the timing of this is dependent upon many factors. So for now, the southern termination of Hillcrest Avenue will maintain owner access to the southern property, for oil & gas uses, as well as will provide for a safe, lighted turn-around design.</p>
10.0-8	<p>Pedestrian and bicycle connectivity outside the Creekside/VSC Project community will be promoted by signals at the project entry on Hillcrest Avenue, and via sidewalks and bike lanes. To the north, the pedestrian will be able to access the future Sand Creek Regional Trail (and the Mokelumne Aqueduct Regional Trail and points beyond, for that matter) upon crossing a new bridge over Sand Creek itself.</p>

(END)



Chapter One

Creekside/VSC Design Guidelines: Guidelines Text

Creekside/Vineyards at Sand Creek

Antioch, California

December 2019



Chapter Two

**Creekside/VSC Design Guidelines:
Landscape Illustrations**

Creekside/Vineyards at Sand Creek

Antioch, California

December 2019



Chapter Three

Creekside/VSC Design Guidelines: Planned Development Standards

Creekside/Vineyards at Sand Creek

Antioch, California

December 2019



Chapter Four

**Creekside/VSC Design Guidelines:
Architectural Examples**

Creekside/Vineyards at Sand Creek

Antioch, California

December 2019

A person is standing in a vineyard, looking down at something in their hands. The background shows rows of grapevines with green leaves. The image is slightly blurred.

Chapter Five

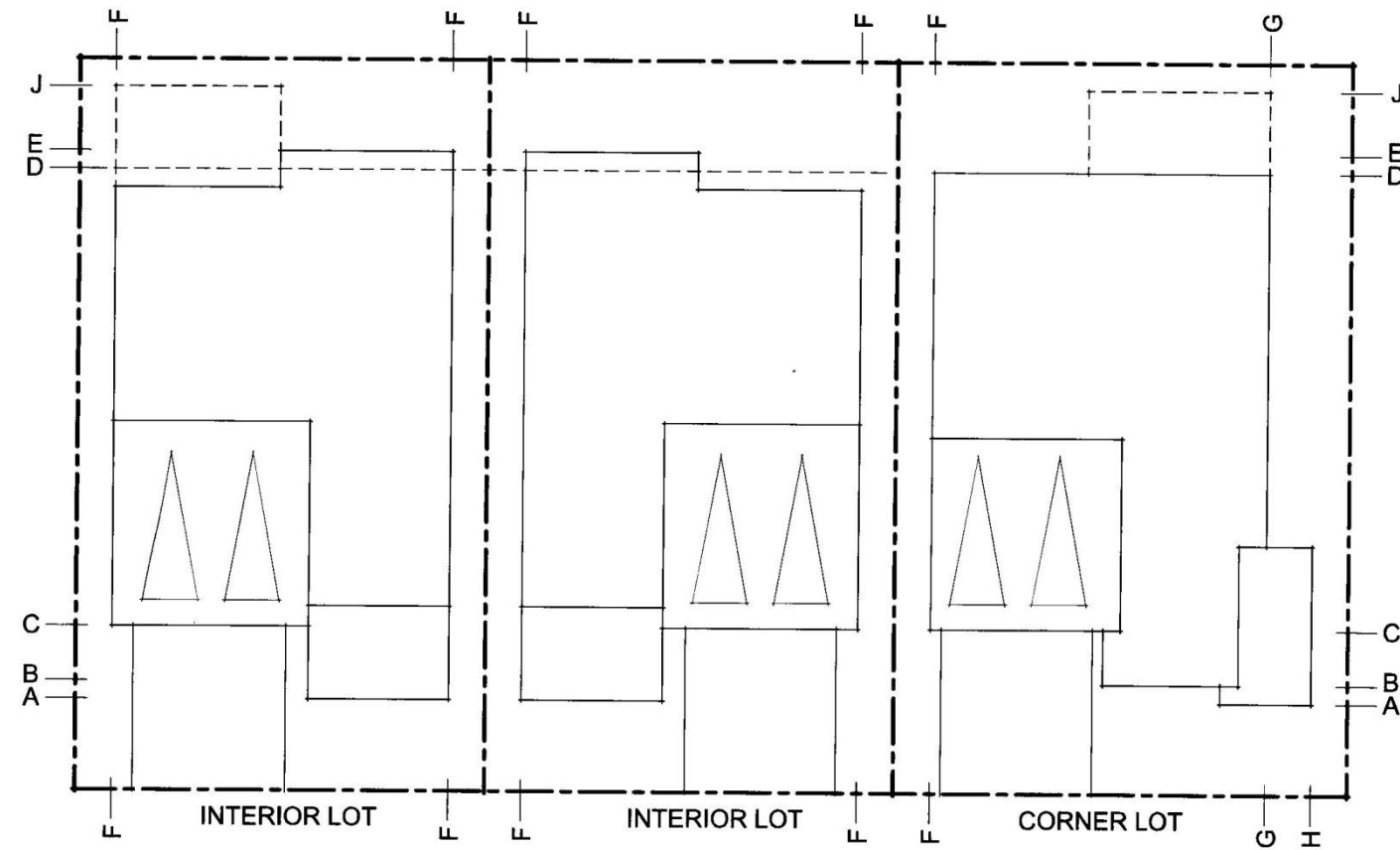
Creekside/VSC Project Mapping

Creekside/Vineyards at Sand Creek

Antioch, California

December 2019

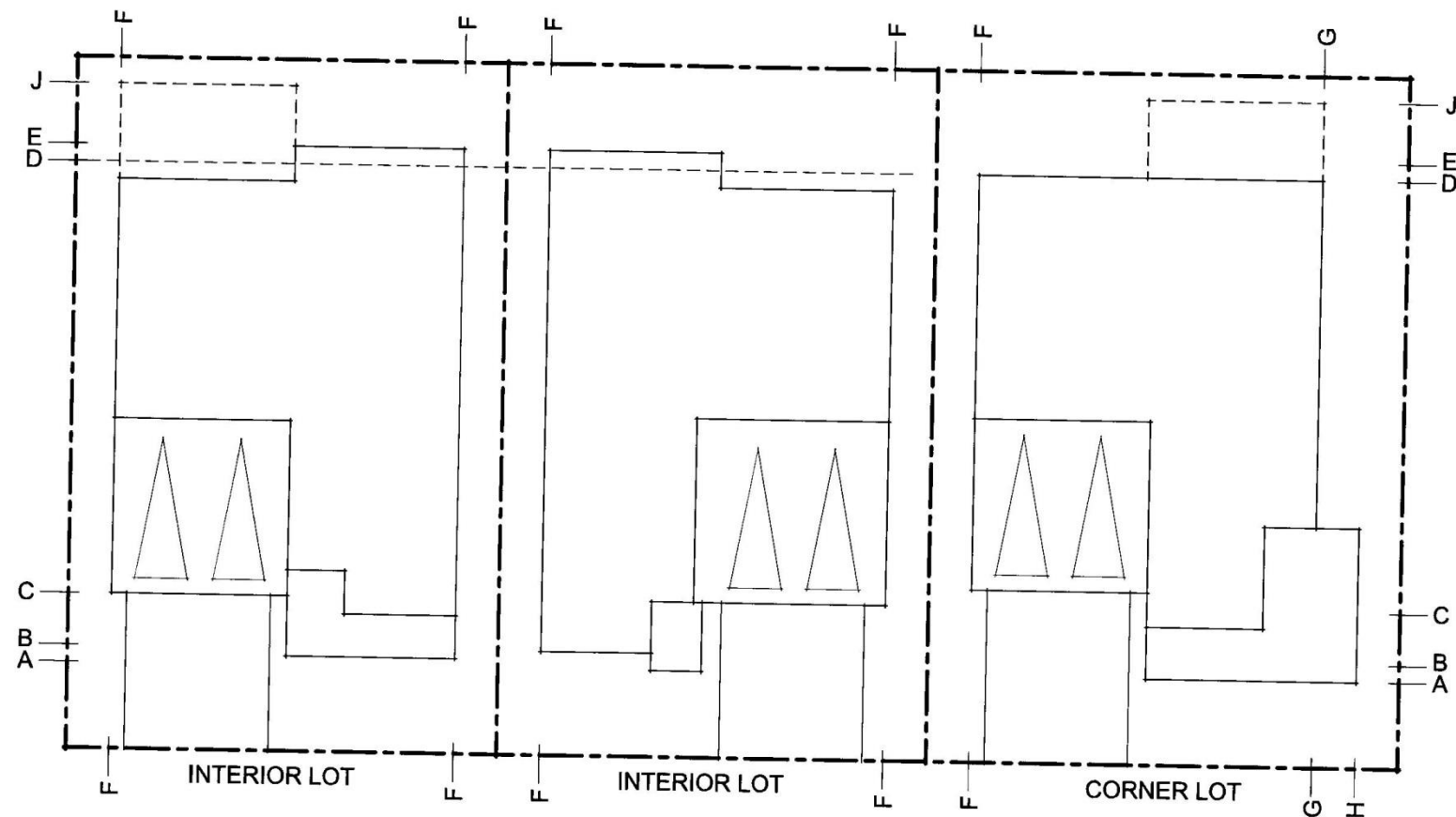
Setback Diagram for Single Family Lot Type A



TYPICAL SITE LAYOUT DIAGRAM
45' x 80' LOTS

- A 10' MINIMUM FRONT SETBACK TO PORCH
- B 12' MINIMUM FRONT SETBACK TO LIVING
- C 18' MIN. FRONT SETBACK TO GARAGE W/O SIDEWALK
(20' MINIMUM WITH SIDEWALK)
- D 12' AVERAGE REAR MINIMUM SETBACK
- E 10' MINIMUM REAR SETBACK
- F 4' MINIMUM SIDE YARD SETBACK
- G 9' MINIMUM SIDE YARD SETBACK AT CORNER LOT
- H 5' MIN. SIDE YARD PORCH SETBACK AT CORNER LOT
- J 3' MIN. REAR YARD SETBACK AT COVERED PATIO

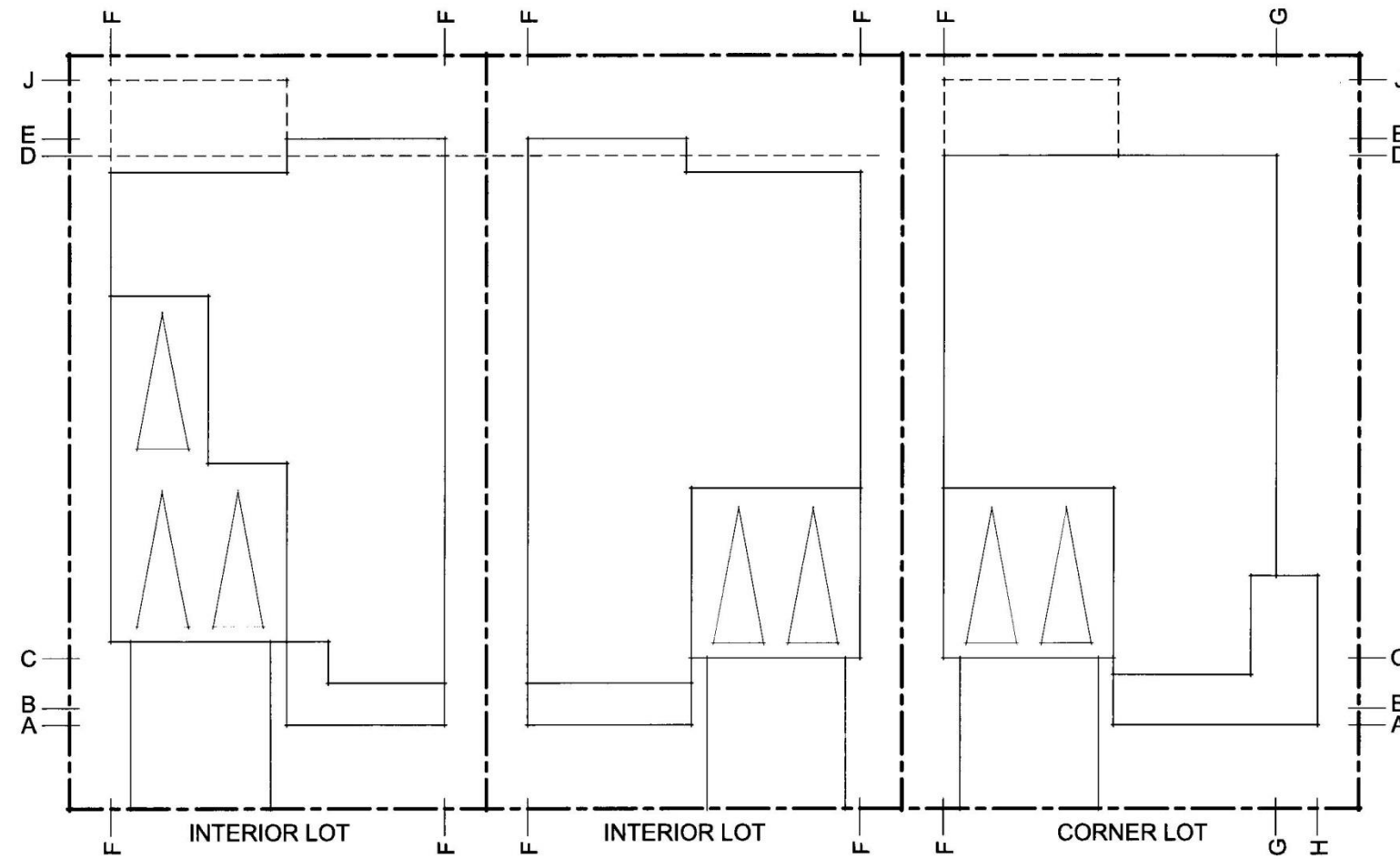
Setback Diagram for Single Family Lot Type B



TYPICAL SITE LAYOUT DIAGRAM
50' x 80' LOTS

- A 10' MINIMUM FRONT SETBACK TO PORCH
- B 12' MINIMUM FRONT SETBACK TO LIVING
- C 18' MIN. FRONT SETBACK TO GARAGE W/O SIDEWALK
(20' MINIMUM WITH SIDEWALK)
- D 12' AVERAGE REAR MINIMUM SETBACK
- E 10' MINIMUM REAR SETBACK
- F 5' MINIMUM SIDE YARD SETBACK
- G 10' MINIMUM SIDE YARD SETBACK AT CORNER LOT
- H 5' MIN. SIDE YARD PORCH SETBACK AT CORNER LOT
- J 3' MIN. REAR YARD SETBACK AT COVERED PATIO

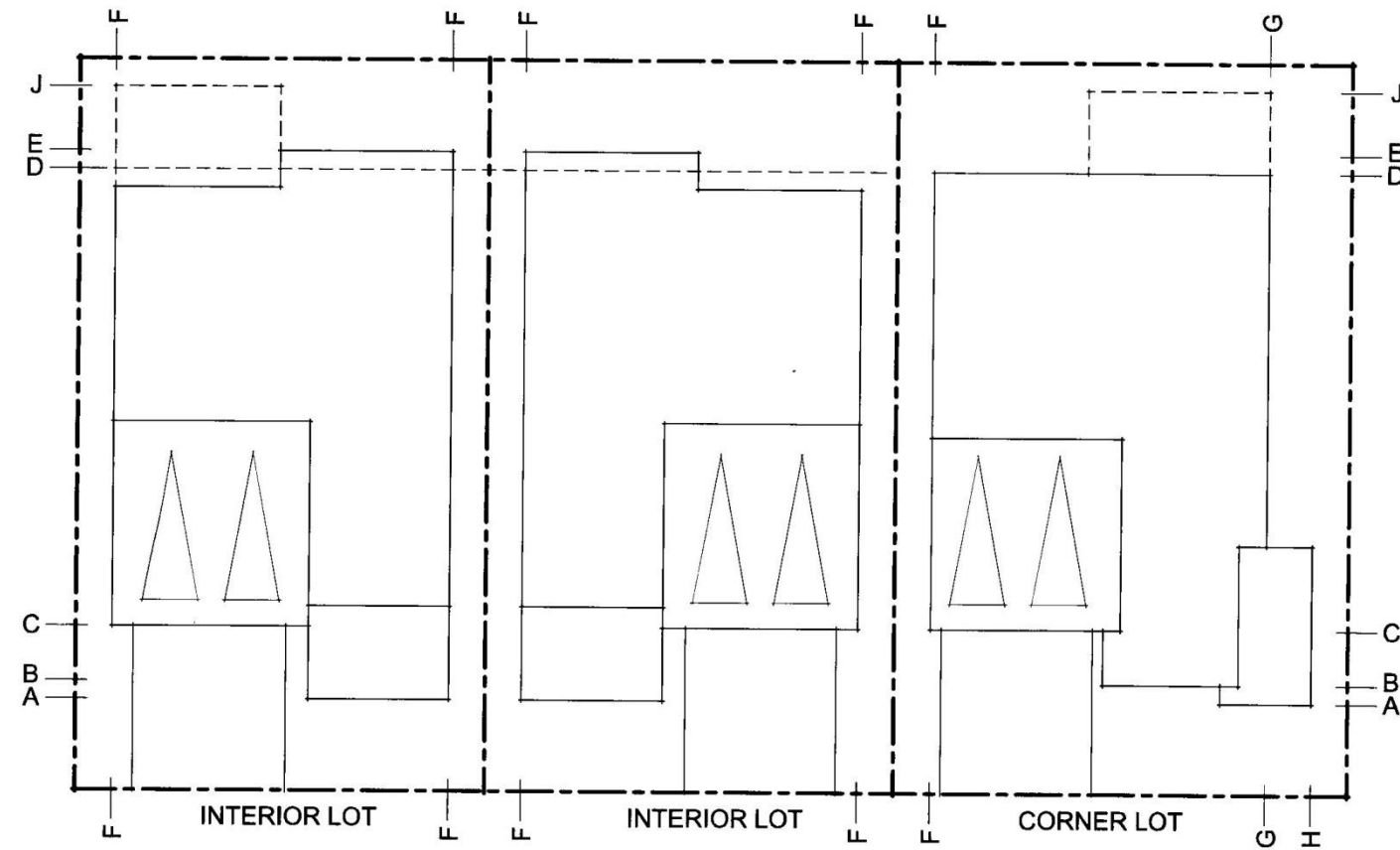
Setback Diagram for Single Family Lot Type C



TYPICAL SITE LAYOUT DIAGRAM
50' x 90' LOTS

- A 10' MINIMUM FRONT SETBACK TO PORCH
- B 12' MINIMUM FRONT SETBACK TO LIVING
- C 18' MIN. FRONT SETBACK TO GARAGE W/O SIDEWALK
(20' MINIMUM WITH SIDEWALK)
- D 12' AVERAGE REAR MINIMUM SETBACK
- E 10' MINIMUM REAR SETBACK
- F 5' MINIMUM SIDE YARD SETBACK
- G 10' MINIMUM SIDE YARD SETBACK AT CORNER LOT
- H 5' MIN. SIDE YARD PORCH SETBACK AT CORNER LOT
- J 3' MIN. REAR YARD SETBACK AT COVERED PATIO

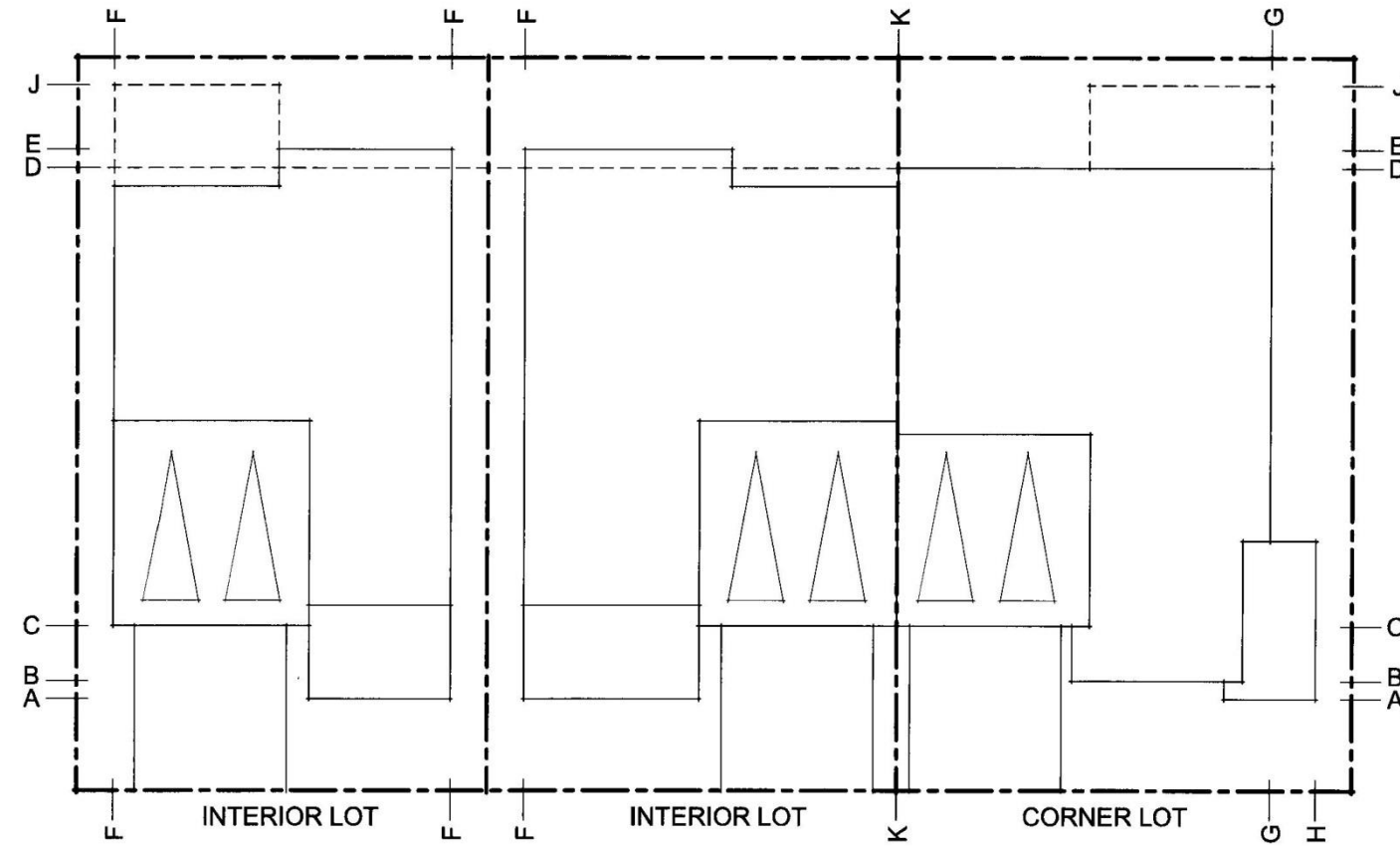
Setback Diagram for Active Adult Lot Type A



TYPICAL SITE LAYOUT DIAGRAM
45' x 80' LOTS

- A 10' MINIMUM FRONT SETBACK TO PORCH
- B 12' MINIMUM FRONT SETBACK TO LIVING
- C 18' MIN. FRONT SETBACK TO GARAGE W/O SIDEWALK
(20' MINIMUM WITH SIDEWALK)
- D 12' AVERAGE REAR MINIMUM SETBACK
- E 10' MINIMUM REAR SETBACK
- F 4' MINIMUM SIDE YARD SETBACK
- G 9' MINIMUM SIDE YARD SETBACK AT CORNER LOT
- H 5' MIN. SIDE YARD PORCH SETBACK AT CORNER LOT
- J 3' MIN. REAR YARD SETBACK AT COVERED PATIO

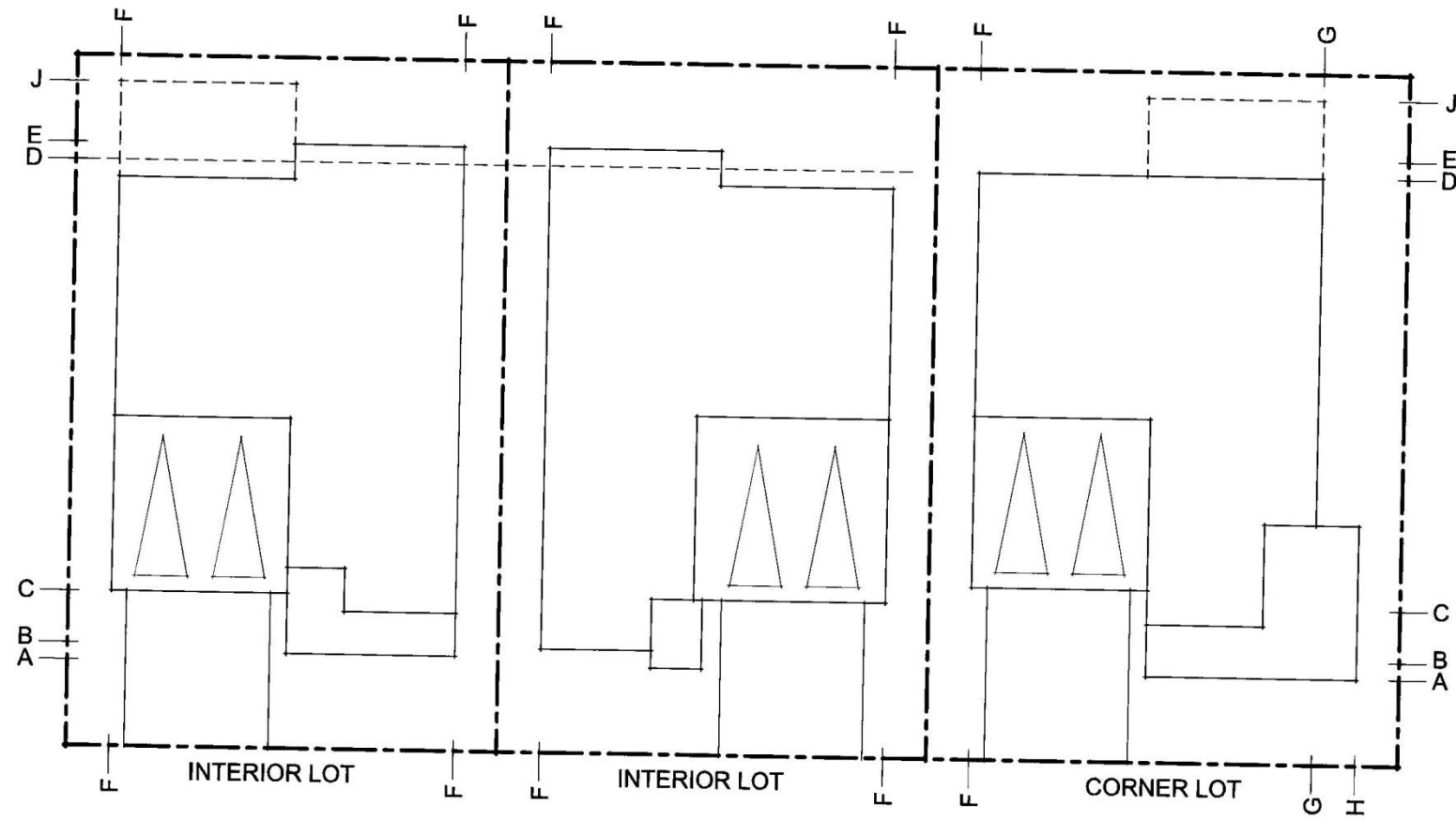
Setback Diagram for Active Adult DUET Lot Type A (Active Adult only)



TYPICAL SITE LAYOUT DIAGRAM
45' x 80' LOTS

- A 10' MINIMUM FRONT SETBACK TO PORCH
- B 12' MINIMUM FRONT SETBACK TO LIVING
- C 18' MIN. FRONT SETBACK TO GARAGE W/O SIDEWALK
(20' MINIMUM WITH SIDEWALK)
- D 12' AVERAGE REAR MINIMUM SETBACK
- E 10' MINIMUM REAR SETBACK
- F 4' MINIMUM SIDE YARD SETBACK
- G 9' MINIMUM SIDE YARD SETBACK AT CORNER LOT
- H 5' MIN. SIDE YARD PORCH SETBACK AT CORNER LOT
- J 3' MIN. REAR YARD SETBACK AT COVERED PATIO
- K 0' MIN. INTERIOR SIDE YARD (ACTIVE ADULT ONLY)

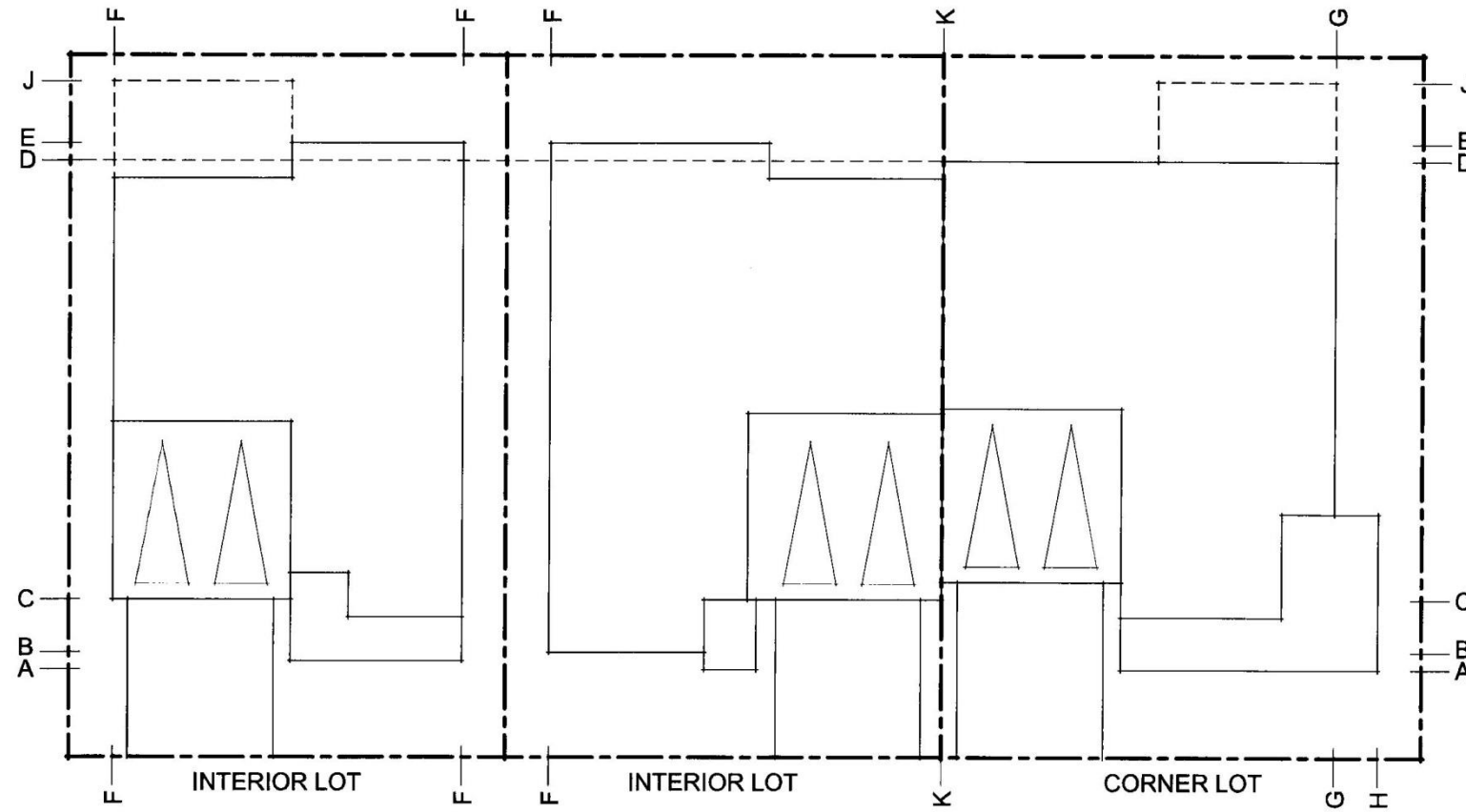
Setback Diagram for Active Adult Lot Type B



TYPICAL SITE LAYOUT DIAGRAM
50' x 80' LOTS

- A 10' MINIMUM FRONT SETBACK TO PORCH
- B 12' MINIMUM FRONT SETBACK TO LIVING
- C 18' MIN. FRONT SETBACK TO GARAGE W/O SIDEWALK
(20' MINIMUM WITH SIDEWALK)
- D 12' AVERAGE REAR MINIMUM SETBACK
- E 10' MINIMUM REAR SETBACK
- F 5' MINIMUM SIDE YARD SETBACK
- G 10' MINIMUM SIDE YARD SETBACK AT CORNER LOT
- H 5' MIN. SIDE YARD PORCH SETBACK AT CORNER LOT
- J 3' MIN. REAR YARD SETBACK AT COVERED PATIO

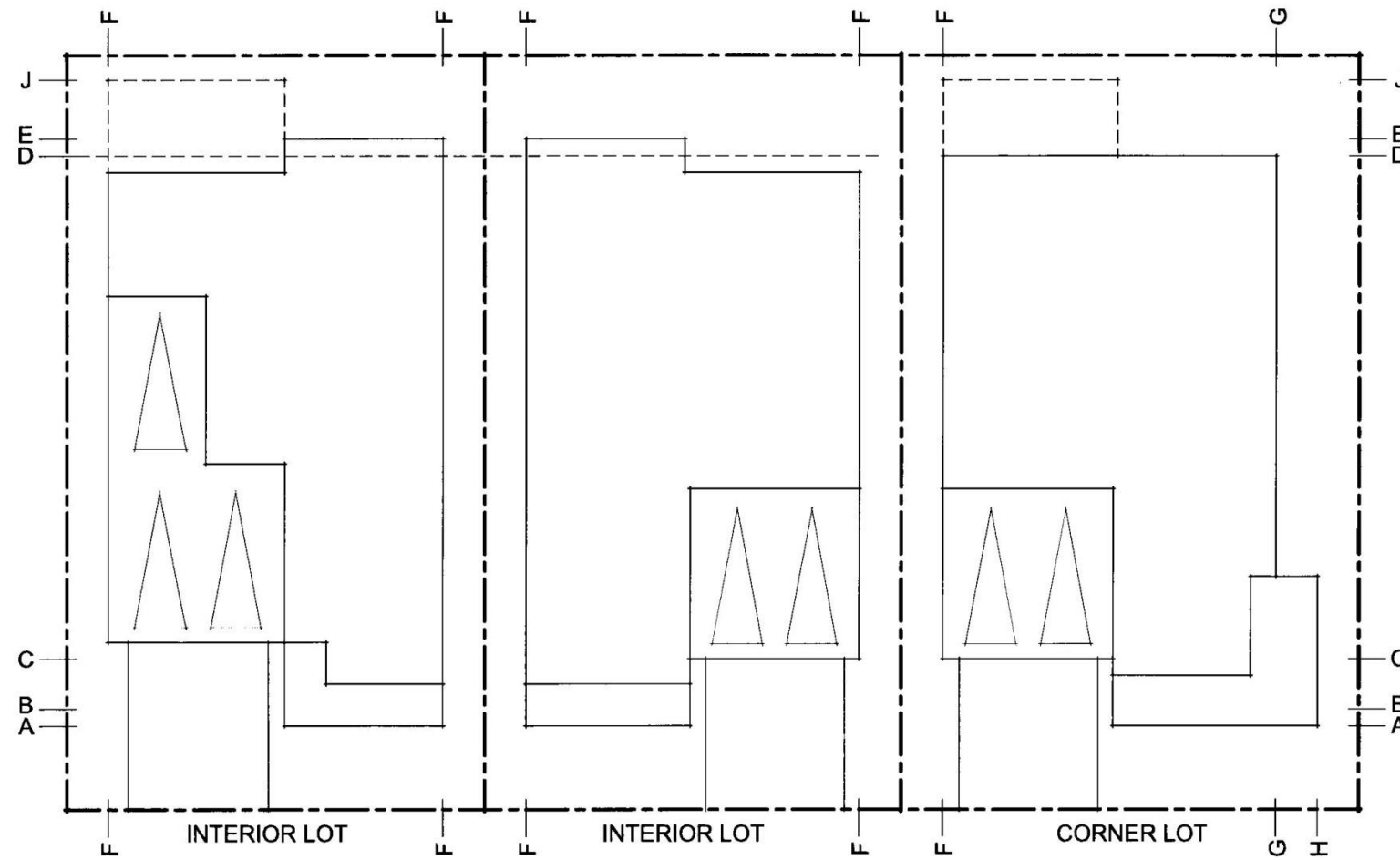
Setback Diagram for Active Adult DUET Lot Type B (Active Adult only)



TYPICAL SITE LAYOUT DIAGRAM
50' x 80' LOTS

- A 10' MINIMUM FRONT SETBACK TO PORCH
- B 12' MINIMUM FRONT SETBACK TO LIVING
- C 18' MIN. FRONT SETBACK TO GARAGE W/O SIDEWALK
(20' MINIMUM WITH SIDEWALK)
- D 12' AVERAGE REAR MINIMUM SETBACK
- E 10' MINIMUM REAR SETBACK
- F 5' MINIMUM SIDE YARD SETBACK
- G 10' MINIMUM SIDE YARD SETBACK AT CORNER LOT
- H 5' MIN. SIDE YARD PORCH SETBACK AT CORNER LOT
- J 3' MIN. REAR YARD SETBACK AT COVERED PATIO
- K 0' MIN. INTERIOR SIDE YARD (ACTIVE ADULT ONLY)

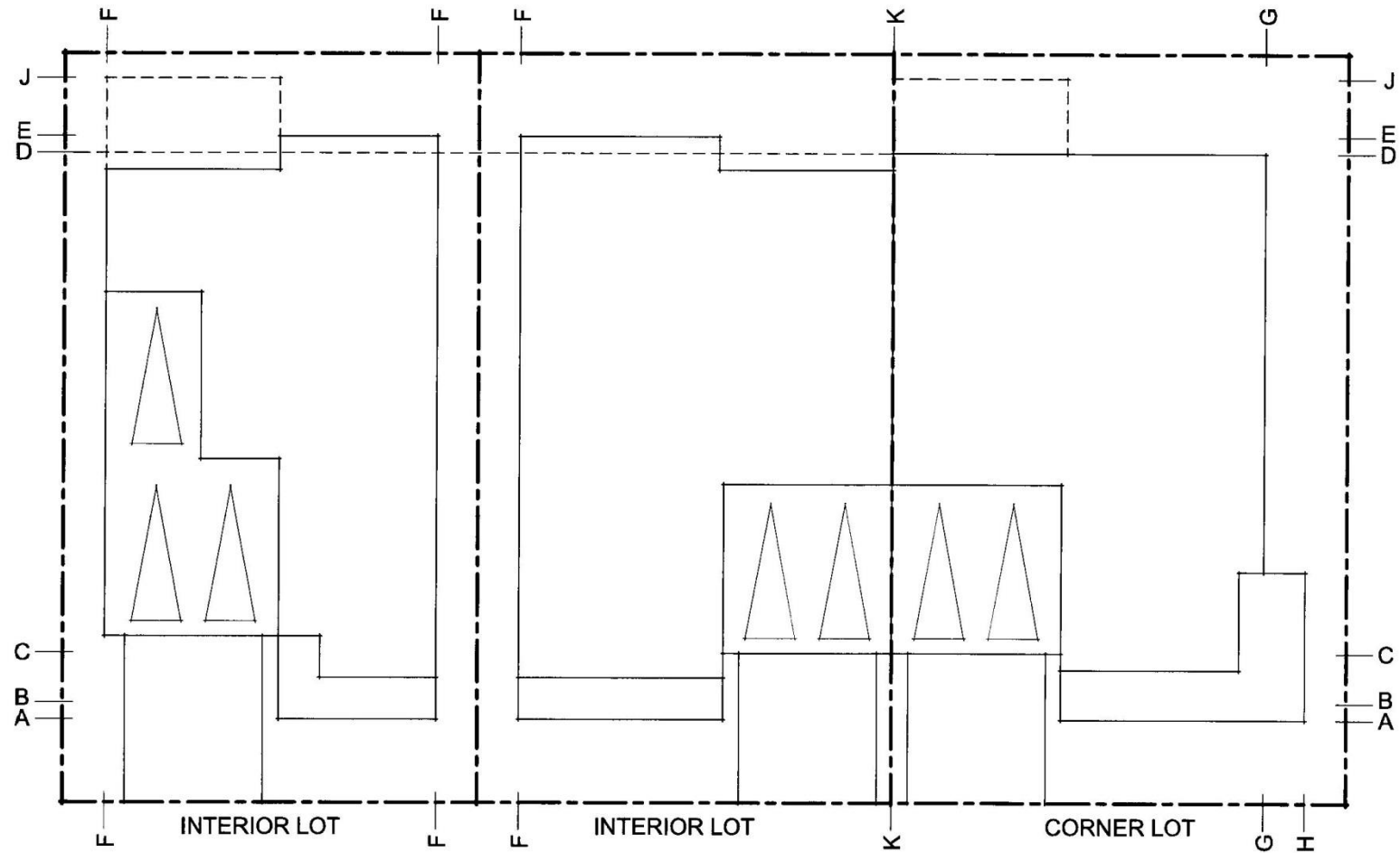
Setback Diagram for Active Adult Lot Type C



TYPICAL SITE LAYOUT DIAGRAM
50' x 90' LOTS

- A 10' MINIMUM FRONT SETBACK TO PORCH
- B 12' MINIMUM FRONT SETBACK TO LIVING
- C 18' MIN. FRONT SETBACK TO GARAGE W/O SIDEWALK
(20' MINIMUM WITH SIDEWALK)
- D 12' AVERAGE REAR MINIMUM SETBACK
- E 10' MINIMUM REAR SETBACK
- F 5' MINIMUM SIDE YARD SETBACK
- G 10' MINIMUM SIDE YARD SETBACK AT CORNER LOT
- H 5' MIN. SIDE YARD PORCH SETBACK AT CORNER LOT
- J 3' MIN. REAR YARD SETBACK AT COVERED PATIO

Setback Diagram for Active Adult DUET Lot Type C (Active Adult only)



TYPICAL SITE LAYOUT DIAGRAM
50' x 90' LOTS

- A 10' MINIMUM FRONT SETBACK TO PORCH
- B 12' MINIMUM FRONT SETBACK TO LIVING
- C 18' MIN. FRONT SETBACK TO GARAGE W/O SIDEWALK
(20' MINIMUM WITH SIDEWALK)
- D 12' AVERAGE REAR MINIMUM SETBACK
- E 10' MINIMUM REAR SETBACK
- F 5' MINIMUM SIDE YARD SETBACK
- G 10' MINIMUM SIDE YARD SETBACK AT CORNER LOT
- H 5' MIN. SIDE YARD PORCH SETBACK AT CORNER LOT
- J 3' MIN. REAR YARD SETBACK AT COVERED PATIO
- K 0' MIN. INTERIOR SIDE YARD (ACTIVE ADULT ONLY)

Exhibit 4-A: Streetscape Architectural and Setback Examples by the Dahlin Group



Exhibit 4-B: "Single-Story Profile" Architectural Example for Single Family Lot Type C, by the Dahlin Group



"TRADITIONAL"

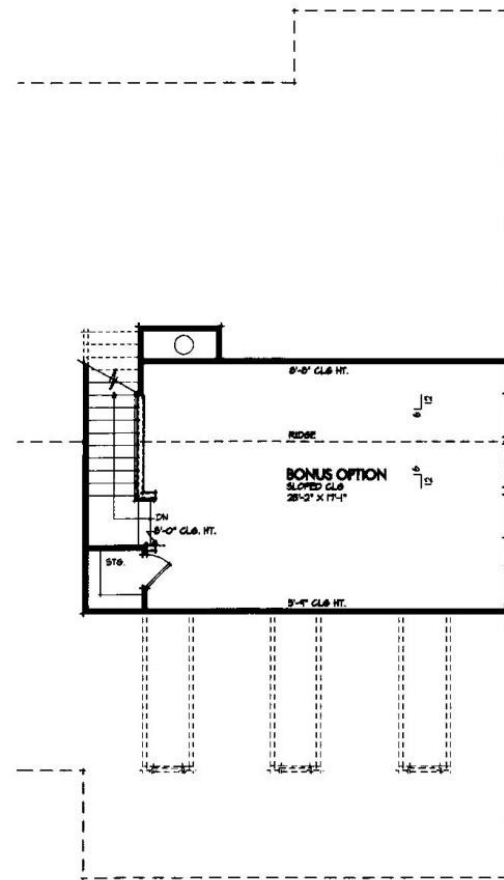


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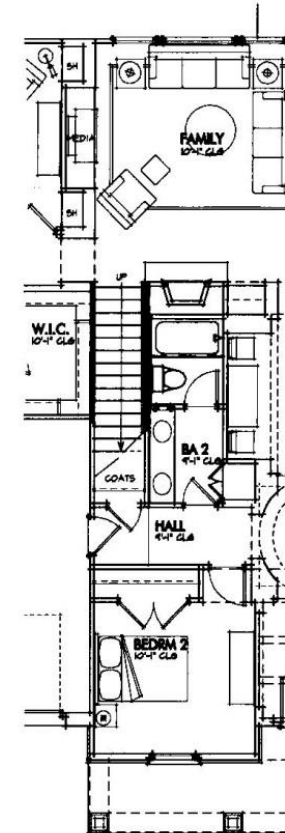


"ITALIAN"

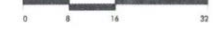
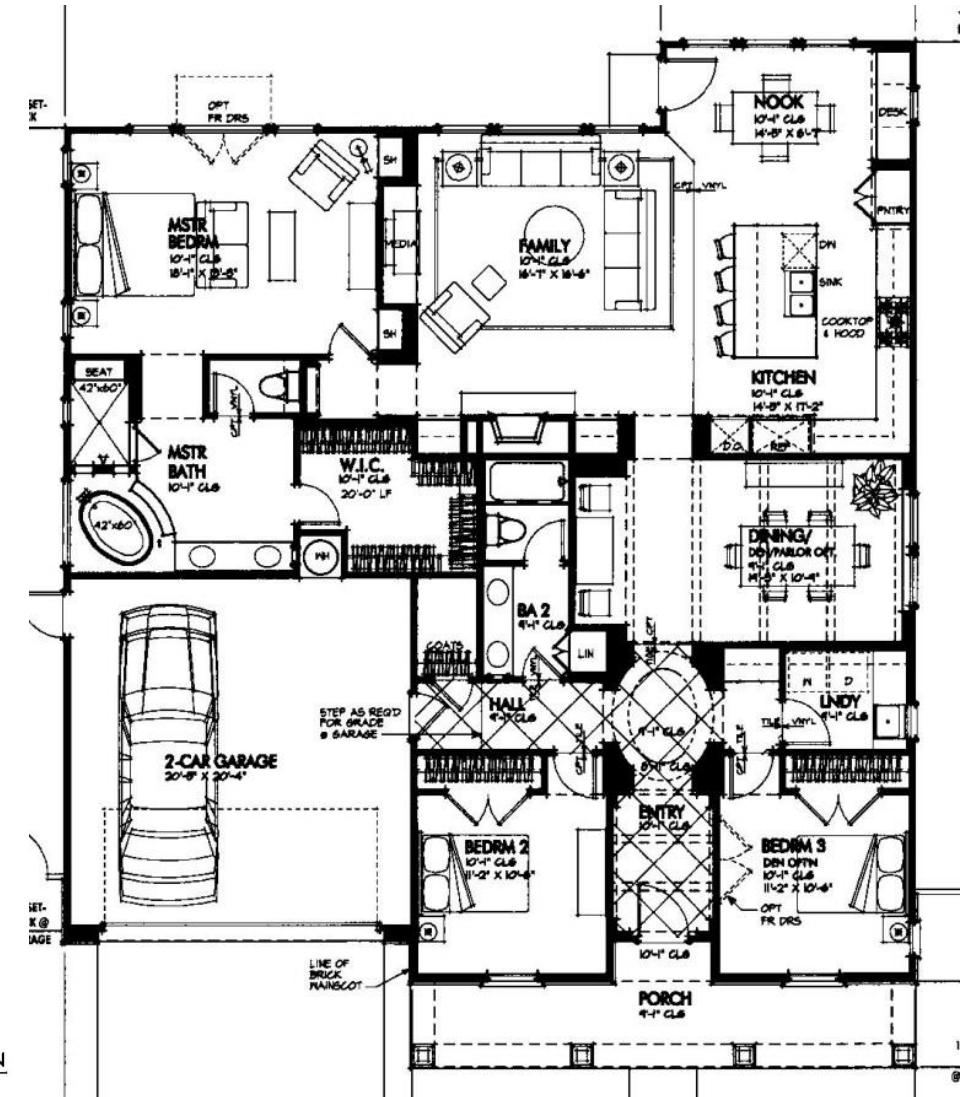
PLAN ONE ELEVATIONS
February 12, 2008 Printed No. 180113



SECOND FLOOR PLAN @ OPTION
470 sq. ft.

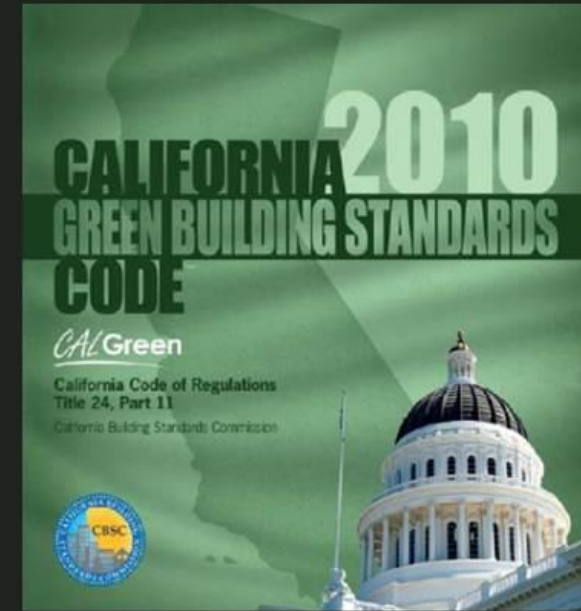


FIRST FLOOR PLAN @ OPTION





OUTDOOR ROOMS



GREEN BUILDING

DAHLIN GROUP ARCHITECTURE | PLANNING

Exhibit 3-A (SF): Planned Development Standards Text for Unrestricted Single Family Residential Development

Standard	VSC Project Planned Development Zoning Standards for Unrestricted Single Family Residential (Page 1 of 2)
A. Maximum Density	<u>All Lot Types</u> : 4.6 dwelling units per gross acre (5.5 dwelling units per net developable acre)
B. Maximum Number of Units	<u>All Lot Types</u> : 220 Single Family Residences
C. Minimum Lot Size	<u>Lot Type A</u> : 45'x80', average Lot Size 4,200 SF <u>Lot Type B</u> : 50'x80', average Lot Size 4,630 SF <u>Lot Type C</u> : 50'x90', average Lot Size 5,160 SF
D. Minimum Lot Width	<u>Lot Type A</u> : All lots shall have a minimum width of 45 feet at a distance of 20 feet from the right-of-way. <u>Lot Type B and C</u> : All lots shall have a minimum width of 50 feet at a distance of 20-feet from the right of way.
E. Minimum Front Yard Setbacks	<u>All Lot Types</u> : 10 foot minimum to porch front, 12 foot minimum to living space, (reserved for landscaping only, excluding driveways).
F. Minimum Side Yard Setbacks	<u>Lot Type A Interior lot</u> : 4 foot minimum. <u>Lot Type A Corner lot</u> : 4 foot interior/9 foot street-side. <u>Lot Type B and C Interior lot</u> : 5 foot. <u>Lot Type B and C Corner lot</u> : 5 foot interior/10 foot street-side. Architectural pop-outs and encroachments to the front, side and rear shall be allowed pursuant to Municipal Code Section 9-5.801.
G. Minimum Rear Yard Setbacks	<u>Lot Type A, B, and C</u> : 10 foot minimum/12 foot average. <u>Additionally, Lot Type C</u> with lots deeper than 95 feet: 15 foot minimum/18 foot average
H. Accessory Structure Setbacks	<u>All Lot Types: Interior lot</u> : side yard and rear yard setback is zero feet. <u>All Lot Types: Corner lot</u> : street side yard is 10 feet and rear /interior side yard is zero feet.
I. Covered Patio	<u>All Lot Types: Covered Patio/"California Room"</u> : A covered area, attached or detached to the main structure, without walls on two or more sides. <u>Covered Patio setbacks</u> : 3' minimum to rear and side yard. The wall-less sides of Covered Patios at the rear elevation can encroach further than architectural popouts. A California Room with a solid covered roof (not trellis) is limited to cover no more than 33% of the required rear yard.

Exhibit 3-A (SF): Planned Development Standards Text for Unrestricted Single Family Residential Development

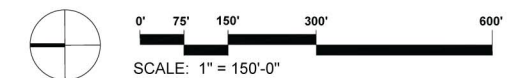
Standard	VSC Project Planned Development Zoning Standards for Unrestricted Single Family Residential (Page 2 of 2)
J. Maximum Building Height	<p><u>All Lot Types</u>: 35 feet for single-story profile and two-story structures.</p> <p><u>All Lot Types</u>: 25 feet for one-story structures.</p>
K. Maximum Lot Coverage (gross first floor living plus garage area divided by the lot area and does not include Covered Patios/porches)	<p><u>Lot Type A and B</u>: 60% for single-story homes and 54% for two-story homes. No single-story homes required.</p> <p><u>Lot Type C</u>: 60% for single-story or single-story profile homes and 54% for two-story homes. No single-story homes required.</p>
L. Parking and Driveways	<p><u>All Lot Types</u>: 20-foot minimum setback to garage door for lots with sidewalk along frontage. 18-foot minimum setback to garage door for lots without sidewalk along frontage. Garage provides at least two off-street parking spaces. One on-street parking space must be provided in front of, or for corner lots the parking space may be on the street side yard of - each house (at least 20 feet of curb with exceptions for cul-de-sacs).</p>
M. Driveway Width	<p><u>Lot Type A</u>: Driveway width not to exceed 45% of lot frontage.</p> <p><u>Lot Type B and C</u>: Driveway width not to exceed 40% of lot frontage.</p>
N. Landscape Requirements	<p>The landscaped setbacks from arterial streets (Hillcrest Avenue) shall be as shown on the project's Vesting Tentative Map 9501 dated December 13, 2019.</p>
O. Private Pool Club and Park	<p>A private Pool Club and Parks shall be allowed within in the Vineyards at Sand Creek project.</p>
P. Model Home Complexes	<p>One or more model home complexes that showcase the different lot sizes and products shall be allowed within the Vineyards at Sand Creek project.</p>
Q. RV Parking	<p>The project shall not be required to provide onsite or offsite RV Parking. This exclusion shall be included in the community's CC&R's.</p>
R. Private Curbs	<p>VSC Private Streets shall have the option of providing a beveled-curb as detailed by the City of Antioch Code.</p>

Exhibit 3~C (AA): Planned Development Standards Text for Active Adult Residential Development

Standard	VSC Project Planned Development Zoning Standards for Active Adult Residential (Page 1 of 2)
A. Maximum Density	<u>All Lot Types</u> : 4.6 dwelling units per gross acre (5.5 dwelling units per net developable acre)
B. Maximum Number of Units	<u>All Lot Types</u> : 220 Active Adult Residences
C. Minimum Lot Size	<u>Lot Type A</u> : 45'x80', average Lot Size 4,200 SF <u>Lot Type B</u> : 50'x80', average Lot Size 4,630 SF <u>Lot Type C</u> : 50'x90', average Lot Size 5,160 SF
D. Minimum Lot Width	<u>Lot Type A</u> : All lots shall have a minimum width of 45 feet at a distance of 20 feet from the right-of-way. <u>Lot Type B and C</u> : All lots shall have a minimum width of 50 feet at a distance of 20-feet from the right of way.
E. Minimum Front Yard Setbacks	<u>All Lot Types</u> : 10 foot minimum to porch front, 12 foot minimum to living space, (reserved for landscaping only, excluding driveways).
F. Minimum Side Yard Setbacks	<u>Lot Type A Interior lot</u> : 4 foot minimum. <u>Lot Type A Interior 'Active Adult' Duet lot</u> : 0 foot minimum (duet) one side and 4 foot minimum alternate side. <u>Lot Type A Corner lot</u> : 4 foot interior/9 foot street-side. <u>Lot Type A Corner 'Active Adult' Duet lot</u> : 0 foot minimum interior/9 foot streetside. <u>Lot Type B and C Interior lot</u> : 5 foot. <u>Lot Type B and C Interior 'Active Adult' Duet lot</u> : 0 foot minimum one side and 5 foot minimum alternate side. <u>Lot Type B and C Corner lot</u> : 5 foot interior/10 foot street-side. <u>Lot Type B and C Corner 'Active Adult' Duet lot</u> : 0 foot minimum interior/10 foot streetside. Architectural pop-outs and encroachments to the front, side and rear shall be allowed pursuant to Municipal Code Section 9-5.801.
G. Minimum Rear Yard Setbacks	<u>All Lot Types</u> : 10 foot minimum/12 foot average. <u>Lot Type C with lots deeper than 95 feet</u> : 15 foot minimum/18 foot average
H. Accessory Structure Setbacks	<u>All Lot Types: Interior lot</u> : side yard and rear yard setback is zero feet. <u>All Lot Types: Corner lot</u> : street side yard is 10 feet and rear /interior side yard is zero feet.

Exhibit 3~C (AA): Planned Development Standards Text for Active Adult Residential Development

Standard	VSC Project Planned Development Zoning Standards for Active Adult Residential (page 2 of 2)
I. Covered Patio	<p><u>All Lot Types:</u> Covered Patio/"California Room": A covered area, attached or detached to the main structure, without walls on two or more sides.</p> <p><u>Covered Patio setbacks:</u> 3' minimum to rear and side yard. The wall-less side of Covered Patios at the rear elevation can encroach further than architectural popouts. A California Room with a solid covered roof (not trellis) is limited to no more than 33% of the required rear yard.</p>
J. Maximum Building Height	<p><u>All Lot Types:</u> 35 feet for single-story profile and two-story structures.</p> <p><u>All Lot Types:</u> 25 feet for one-story structures.</p>
K. Maximum Lot Coverage (gross first floor living plus garage area divided by the lot area and does not include Covered Patios/porches)	<p><u>Lot Type A and B:</u> 60% for single-story; 54% for two-story and single-story profile homes. No two-story homes required.</p> <p><u>Lot Type C:</u> 63% for single story homes. 54% for two-story and single-story profile homes. No two-story homes required.</p> <p>If developed as an Active Adult community, all homes may be single-story – either detached or as duets, based upon market preferences. No two-story homes shall be required in an Active Adult community.</p>
L. Parking and Driveways	<p><u>All Lot Types:</u> 20-foot minimum setback to garage door for lots with sidewalk along frontage. 18-foot minimum setback to garage door for lots without sidewalk along frontage. Garage provides at least two off-street parking spaces. One on-street parking space must be provided in front of, or for corner lots the parking space may be on the street side yard of - each house (at least 20 feet of curb with exceptions for cul-de-sacs).</p>
M. Driveway Width	<p><u>Lot Type A:</u> Driveway width not to exceed 45% of lot frontage.</p> <p><u>Lot Type B and C:</u> Driveway width not to exceed 40% of lot frontage.</p>
N. Landscape Requirements	<p>The landscaped setbacks from arterial streets (Hillcrest Avenue) shall be as shown on the project's Vesting Tentative Map 9501 dated December 13, 2019.</p>
O. Private Pool Club and Park	<p>A private Pool Club and private Parks shall be allowed within in the Vineyards at Sand Creek project. If developed as an Active Adult Community, park spaces and programming may be adjusted to reflect the Active Adult programming. In no case shall this adjustment result in less park acreage in the gated community.</p>
P. Model Home Complexes	<p>One or more model home complexes that showcase the different lot sizes and products shall be allowed within the Vineyards at Sand Creek project.</p>
Q. RV Parking	<p>The project shall not be required to provide onsite or offsite RV Parking. This exclusion shall be included in the community's CC&R's.</p>
R. Private Curbs	<p>Creekside/VSC Private Streets shall have the option of providing a beveled-curb as provided for in the City of Antioch Code.</p>



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CREEKSIDE VINEYARDS AT SAND CREEK
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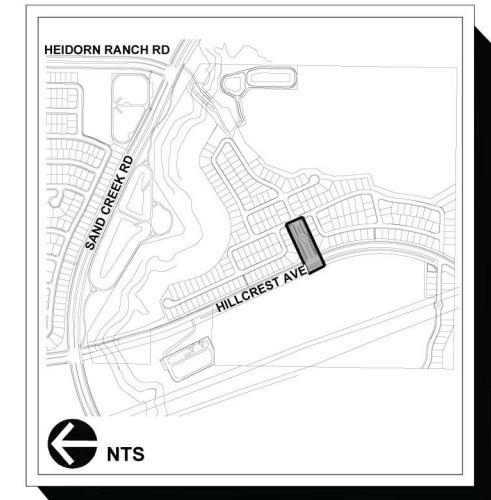
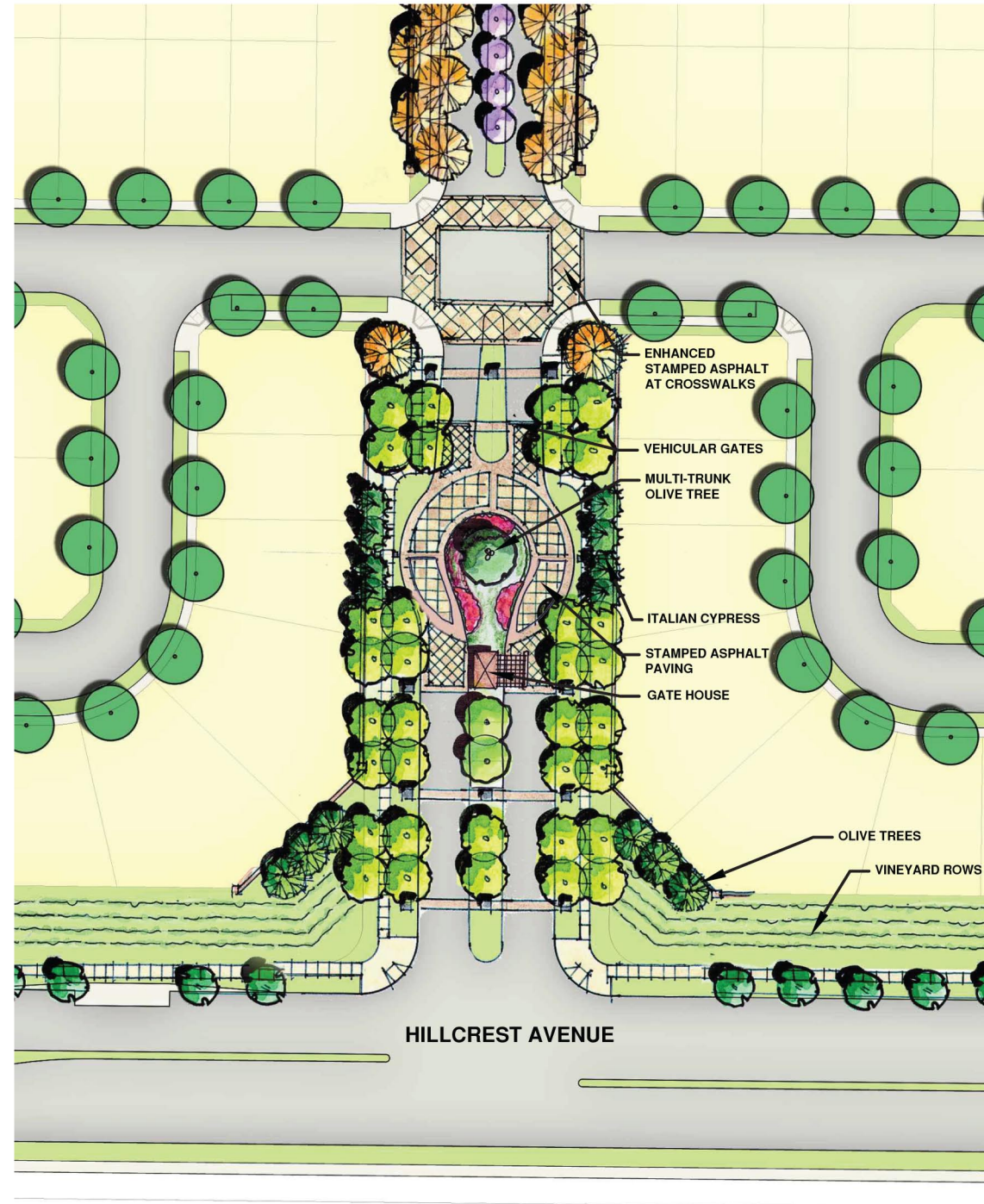
ILLUSTRATIVE SITE PLAN
 DECEMBER 2019



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0' 20' 40' 80' 160'

SCALE: 1" = 40'-0"

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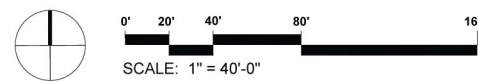
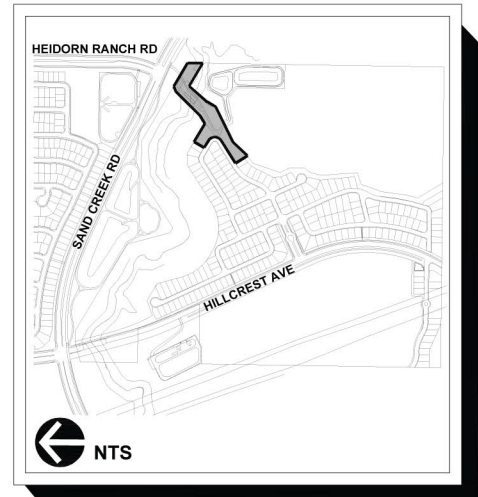
**CREEKSIDE
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Antioch, California

ENTRY AT HILLCREST AVENUE
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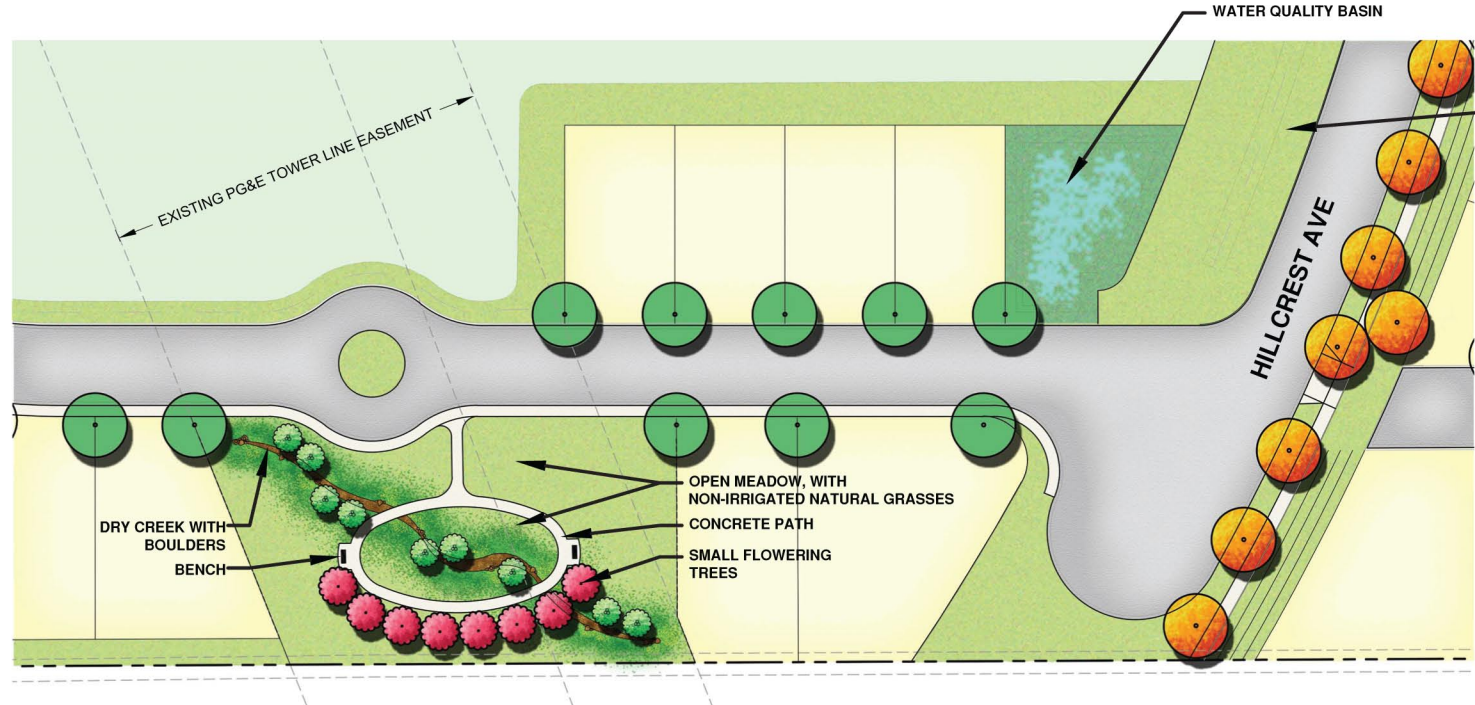
COMMUNITY POOL & NEIGHBORHOOD PARK
 PARCEL B & C
 DECEMBER 2019

cbg
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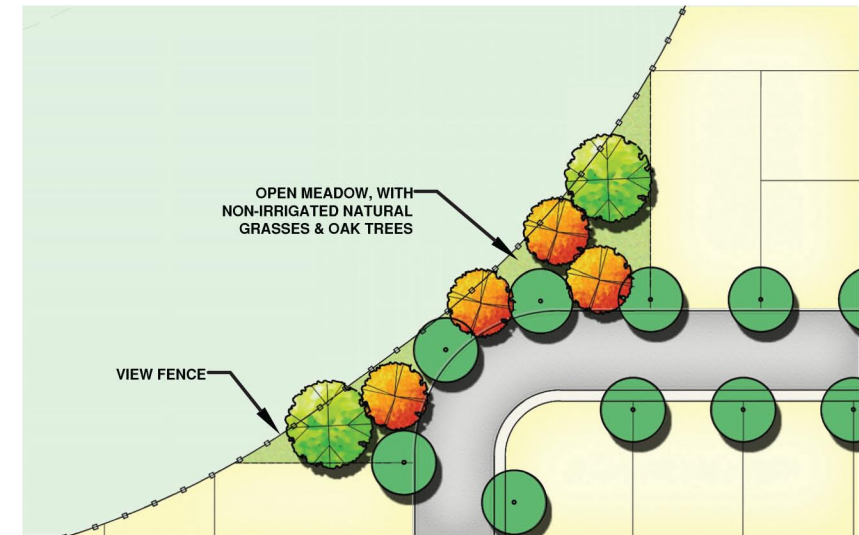
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vTA **L-3**
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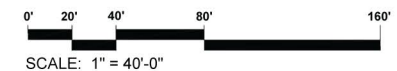
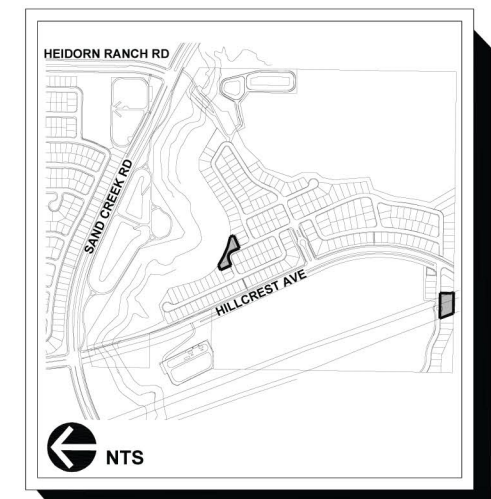
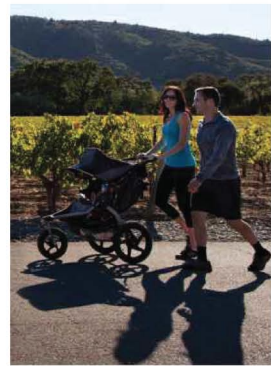
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A PARCELS J AND O - PRIVATE PARK AND WATER QUALITY BASIN



B PARCELS G - PRIVATE PARK





ACER R. 'RED SUNSET'



CUPRESSUS SEMPERVIRENS



PISTACIA C. 'KEITH DAVEY'



PLATANUS A. 'COLUMBIA'



PRUNUS C. 'KRAUTER VESUVIUS'



PRELIMINARY TREES

BOTANICAL NAME	COMMON NAME
STREET TREES	
ACER RUBRUM 'RED SUNSET'	RED MAPLE
CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS
LAGERSTROEMIA I. 'TUSCARORA'	PINK CREPE MYRTLE
OLEA EUROPAEA 'SWAN HILL'	SWAN HILL OLIVE
PISTACIA CHINENSIS 'KEITH DAVEY'	CHINESE PISTACHE
PLATANUS A. 'COLUMBIA'	LONDON PLANE TREE
PRUNUS C. 'KRAUTER VESUVIUS'	PURPLE LEAF PLUM
PYRUS C. 'NEW BRADFORD'	FLOWERING PEAR
QUERCUS COCCINEA	SCARLET OAK



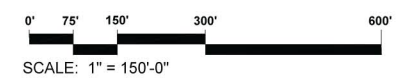
QUERCUS COCCINEA



PYRUS C. 'NEW BRADFORD'



OLEA E. 'SWAN HILL'



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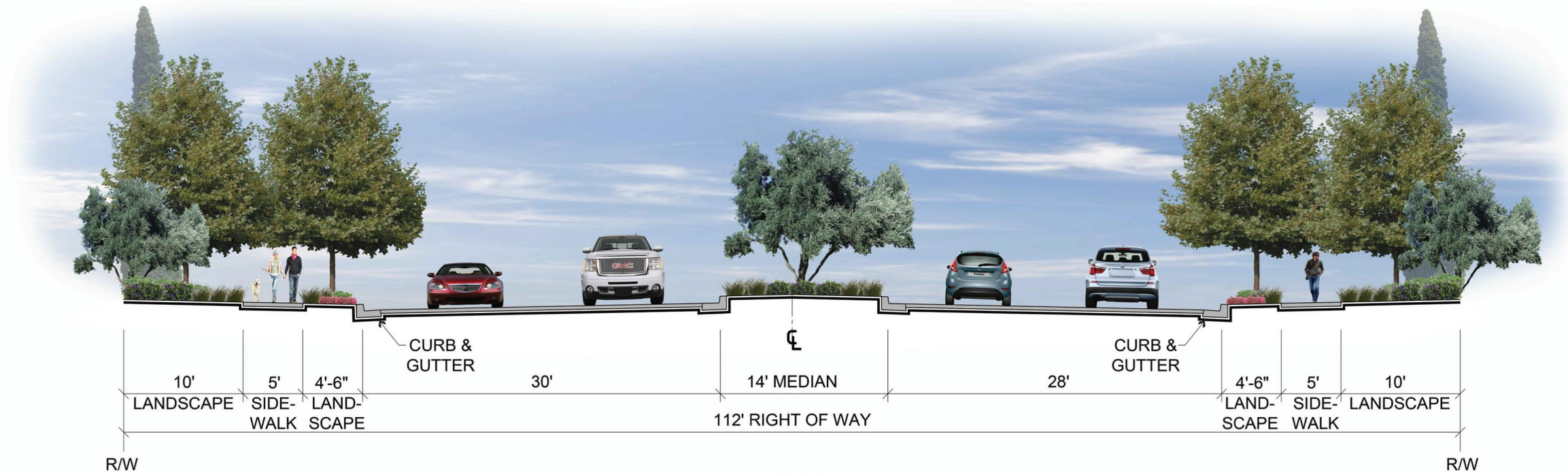
CREEKSIDE VINEYARDS AT SAND CREEK
Antioch, California

STREET TREE PLAN
DECEMBER 2019

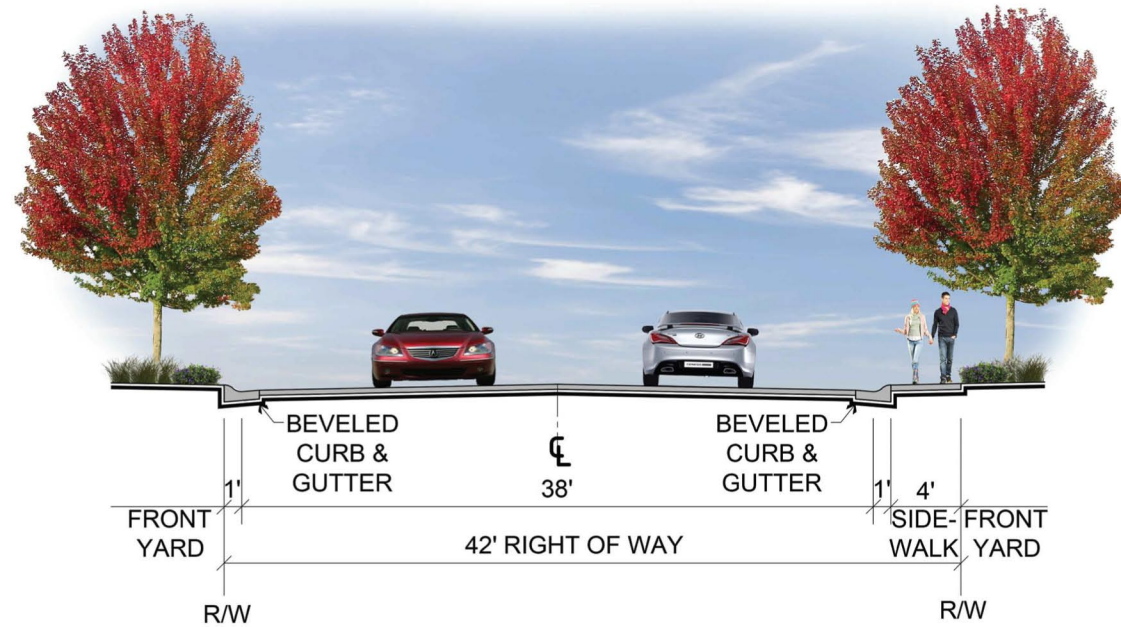


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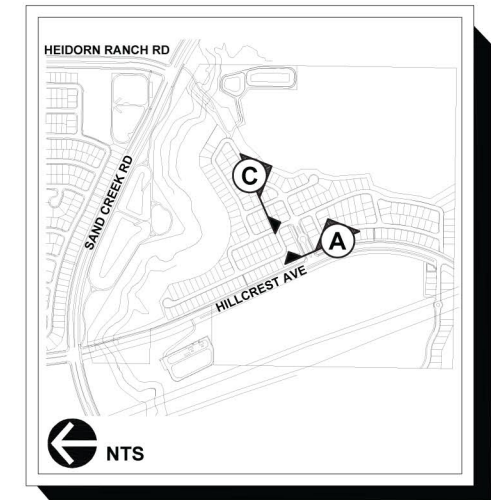


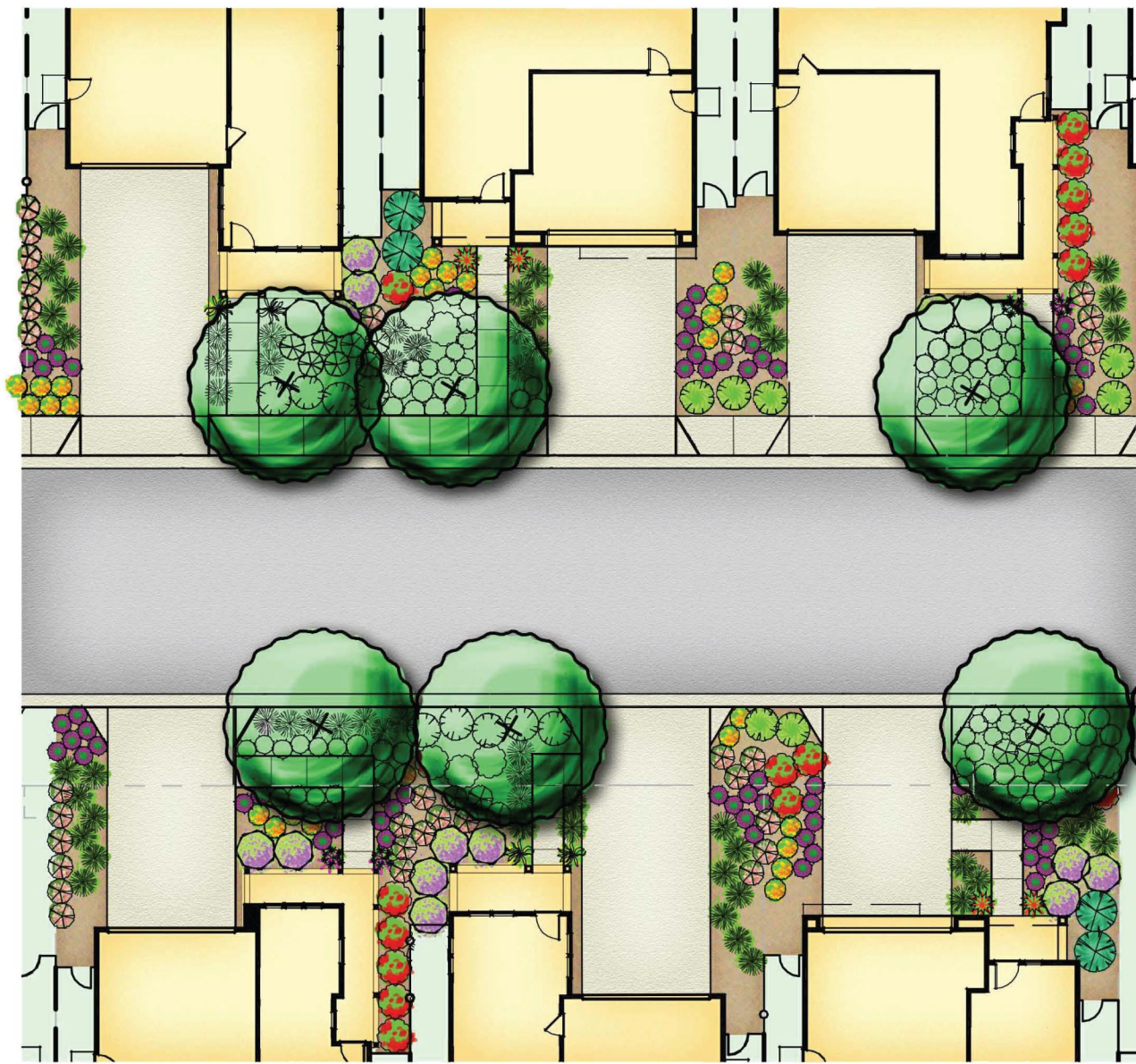


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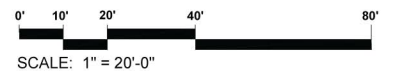


B TYPICAL STREET SECTION





A TYPICAL RESIDENTIAL STREETScape



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**CREEKSIDE
VINEYARDS AT SAND CREEK**
Antioch, California




TYPICAL FRONT YARDS
DECEMBER 2019

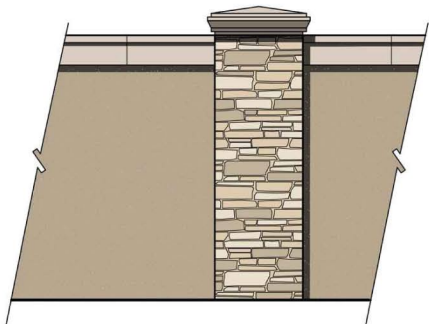


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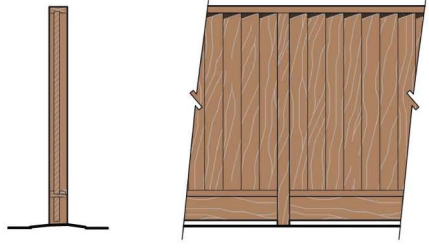


PRELIM WALL & FENCE LEGEND

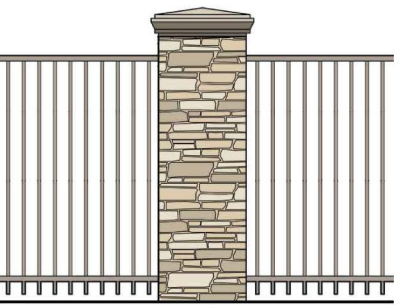
-  SOUND WALL W/ VENEER PILASTERS.
SEE DETAIL A, THIS SHEET
-  6' HIGH GOOD NEIGHBOR FENCE.
SEE DETAIL B, THIS SHEET.
-  6' HIGH TUBE STEEL FENCE W/ VENEER PILASTERS.
SEE DETAIL C, THIS SHEET.



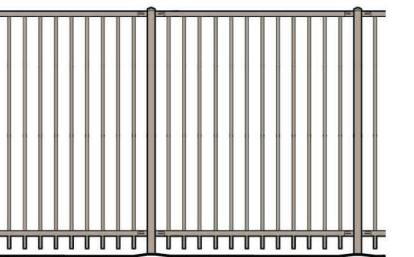
(A) SOUNDWALL W/ VENEER PILASTER



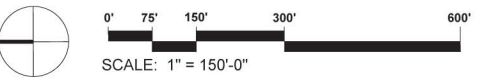
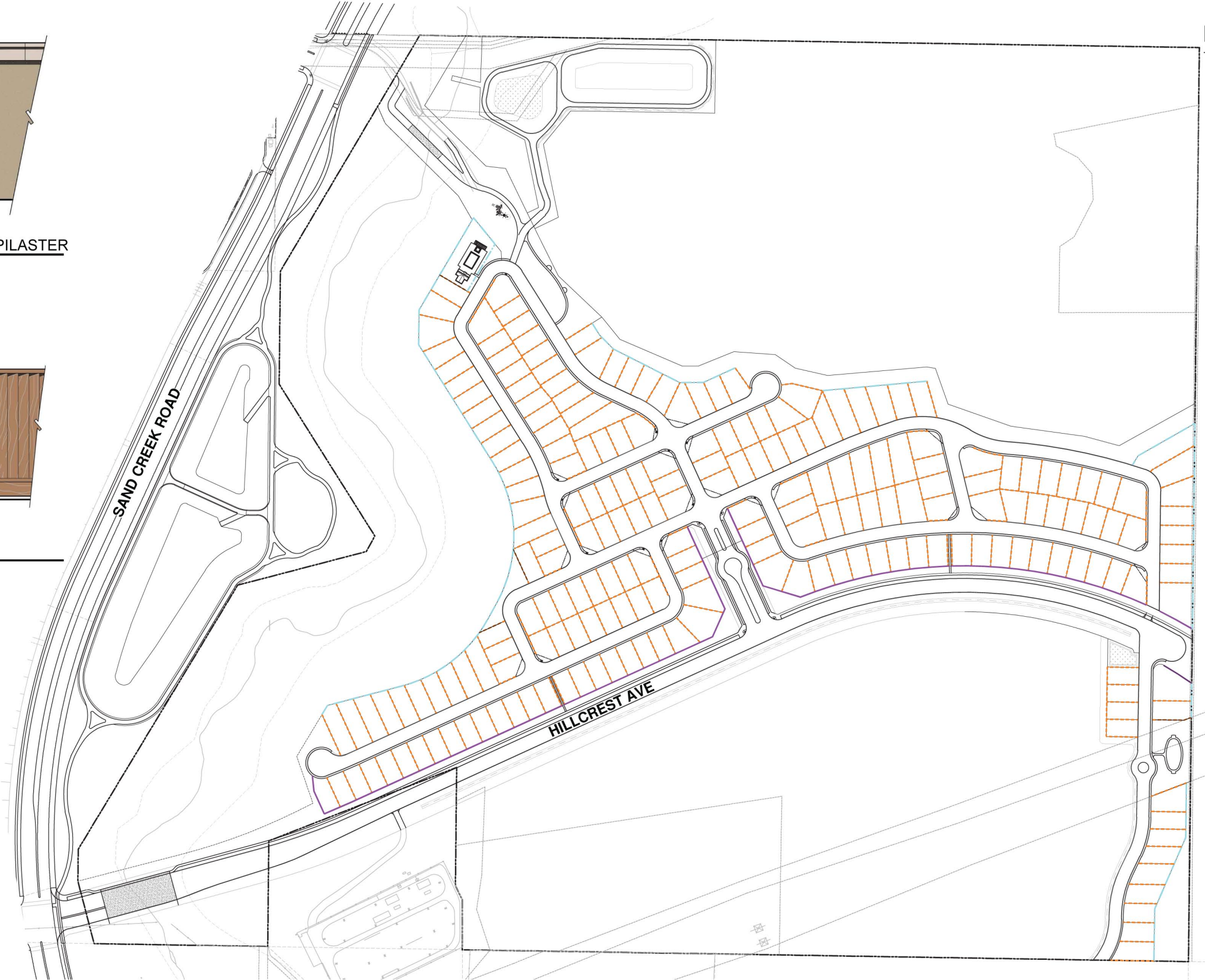
(B) GOOD NEIGHBOR FENCE



(C) TUBE STEEL FENCE W/ PILASTER



(D) TUBE STEEL FENCE



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CREEKSIDE VINEYARDS AT SAND CREEK
Antioch, California

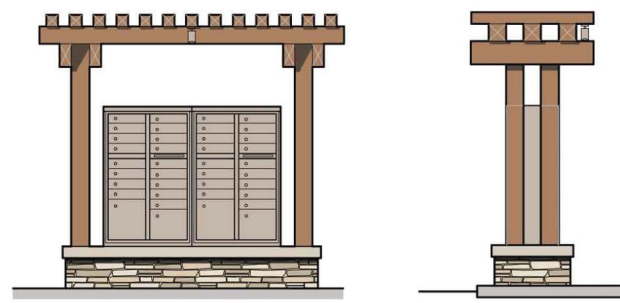
WALL/FENCE PLAN & DETAILS
DECEMBER 2019



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A MAILBOX CLUSTERS



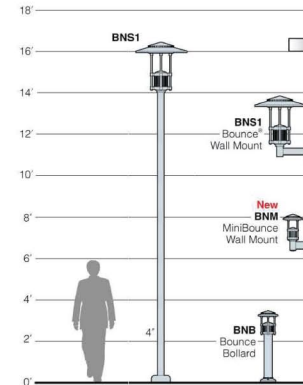
B BENCH



C TRASH RECEPTACLE



D DOG PICK-UP STATION



E RESIDENTIAL NEIGHBORHOOD LIGHT AND BOLLARD

PROPOSED PLANT PALETTE

BOTANICAL NAME	COMMON NAME	SPACING
TREES		
ACER RUBRUM	RED MAPLE	N/A
ARBUTUS 'MARINA'	NCN	N/A
CARPINUS FASTIGIATA	EUROPEAN HORNBEAM	N/A
CELTIS SINENSIS	CHINESE HACKBERRY	N/A
CERCIS CANADENSIS	EASTERN REDBUD	N/A
CERCIS OCCIDENTALIS	WESTERN REDBUD	N/A
CITRUS SP.	ORANGE/KUMQUAT	N/A
CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	N/A
ERIOBOTRYA DEFLEXA	BRONZE LOQUAT	N/A
GINKGO BILOBA	MAINDEN HAIR TREE	N/A
LAGERSTROEMIA SPP.	CRAPE MYRTLE	N/A
LAURUS NOBILIS 'SARATOGA'	GRECIAN LAUREL	N/A
MAGNOLIA 'ST. MARYS'	MAGNOLIA	N/A
MALUS SP.	APPLE	N/A
OLEA EUROPAEA	OLIVE	N/A
PISTACIA CHINENSIS	CHINESE PISTACHE	N/A
PLATANUS ACERIFOLIA 'COLUMBIA'	LONDON PLANE TREE	N/A
POPULUS NIGRA 'ITALICA'	LOMBARDY POPLAR	N/A
PRUNUS SP.	CHERRY/PLUM	N/A
PRUNUS SARGENTI 'COLUMNARIS'	SARGENT'S CHERRY	N/A
PYRUS CALLERYANA 'CHANTICLEER'	FLOWERING PEAR	N/A
PYRUS CALLERYANA 'BRADFORD'	FLOWERING PEAR	N/A
QUERCUS AGRIFOLIA	COAST LIVE OAK	N/A
QUERCUS LOBATA	VALLEY OAK	N/A
QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	N/A
TILIA CORDATA	LITTLE LEAF TILDEN	N/A
ULMUS PARVIFOLIA 'TRUE GREEN'	CHINESE ELM	N/A
LARGE SHRUBS		
ARBUTUS UNEDO	STRAWBERRY TREE	8' O.C.
BERBERIS BUXTIFOLIA	MAGELLAN BARBERRY	5' O.C.
CEANOTHUS SPP.	WILD LILAC	6' O.C.
CISTUS HYBRIDUS	WHITE ROCKROSE	5' O.C.
FEUJA SELLOWIANA	PINEAPPLE GUAVA	8' O.C.
OSMANTHUS FRAGRANS	SWEET OLIVE	6' O.C.
PRUNUS VIRGINIANA	CHOKECHERRY	10' O.C.
PUNICA GRANATUM	NON-FRUITING POMEGRANATE	8' O.C.
RHAMNUS SPP.	COFFEE BUSH	6' O.C.
RHAPHIOLEPIS INDICA	INDIAN HAWTHORN	5' O.C.
VIBURNUM SPP.	VIBURNUM	5' O.C.
WESTRINGIA FRUTICOSA	COAST ROSEMARY	5' O.C.
MEDIUM SHRUBS		
ABELIA X GRANDIFLORA	DWARF ABELIA	4' O.C.
ALOE SPP.	ALOE	4' O.C.
ARCTOSTAPHYLOS SPP.	MANZANITA	4' O.C.
ARTEMISIA 'POWIS CASTLE'	NCN	4' O.C.
DIETES SPP.	FORTNIGHT LILY	3' O.C.
GREVILLEA CANBERRA 'NOELLII'	NCN	4' O.C.
HEMEROCALLIS SPP.	EVERGREEN DAYLILY	3' O.C.
LAVANDULA SPP.	LAVENDER	3' O.C.
LEUCOPHYLLUM SPP.	TEXAS RANGER	4' O.C.
MYRTUS COMMUNIS	MYRTLE	4' O.C.
NANDINA DOMESTICA 'COMPACTA'	DWARF HEAVENLY BAMBOO	3' O.C.
PENSTEMON SPECTABILIS	SHOWY PENSTEMON	3' O.C.
PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	3' O.C.
PHLOMIS FRUTICOSA	JERUSALEM SAGE	4' O.C.
PHORMIUM SPP.	NEW ZEALAND FLAX	4' O.C.
RIBES SPP.	CURRANT	4' O.C.
ROSA SPP.	ROSE	4' O.C.
ROSMARINUS SPP.	ROSEMARY	4' O.C.
SALVIA SPP.	SAGE	3' O.C.
SALVIA LEUCANTHA	MEXICAN BUSH SAGE	4' O.C.
VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	3' O.C.
WOODLARDIA SPP.	GIANT CHAIN FERN	3' O.C.
SMALL SHRUBS		
CUPHEA HYSSOPIFOLIA	RUSH	2' O.C.
POTENTILLA SPP.	CINQUEFOIL	1' O.C.
SANTOLINA SPP.	LAVENDER COTTON	2' O.C.
GROUND COVERS		
ABELIA PROSTRATE FORM	NCN	4' O.C.
ARCTOSTAPHYLOS SPP.	PROSTRATE MANZANITA	6' O.C.
CEANOTHUS SPP.	PROSTRATE WILD LILAC	5' O.C.
COPROSMA SPP.	COPROSMA	5' O.C.
COTONEASTER SPP.	COTONEASTER	8' O.C.
FRAGARIA CHILOENSIS	WILD STRAWBERRY	1' 5' O.C.
JUNIPERUS SPP.	JUNIPER	6' O.C.
LANTANA MONTEVIDENSIS	LANTANA	3' O.C.
MYOPORUM PARVIFOLIUM	NCN	8' O.C.
ROSA SPP.	GROUNDCOVER ROSE	3' O.C.
ROSMARINUS SPP.	ROSEMARY	4' O.C.
SALVIA SPP.	SAGE	3' O.C.
TUECRIMUM SPP.	GERMANDER	2' O.C.
THYMUS SPP.	THYME	3' O.C.
TRACHELOSPERMUM ASIATICUM	JASMINE	8' O.C.
VERBENA SPP.	NCN	2' O.C.
GRASSES		
ACORUS SPP.	FOREST GRASS	2' O.C.
CAREX SPP.	SEDGE	2' O.C.
ELEOCHARIS SPP.	SPIKE RUSH	2' O.C.
FESTUCA SPP.	FESCUE	1' O.C.
JUNCUS SPP.	RUSH	2' O.C.
LEYMUS SPP.	WILD RYE	2' O.C.
MISCANTHUS SPP.	EULALIA GRASS	3' O.C.
MUHLENBERGIA CAPILLARIS	HAIRY AWN	5' O.C.
PENNISETUM SPP.	FOUNTAIN GRASS	3' O.C.
VINES		
CAMPIS RADICANS	TRUMPET VINE	10' O.C.
DISTICTIS BUCCINATORIA	BLOOD RED TRUMPET VINE	10' O.C.
GELSEMIUM SEMPERVIRENS	CAROLINA JASMINE	10' O.C.
JASMINUM POLYANTHUM	PINK JASMINE	10' O.C.
PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY	10' O.C.
VITIS SPP.	GRAPE	10' O.C.
WISTERIA SPP.	WISTERIA	10' O.C.
TURF		
FESCUE TURF	FESCUE	
FESTUCA RUBRA	NO-MOW FESCUE	

TREES



QUERCUS AGRIFOLIA



LAGERSTROEMIA SPP.



ACER RUBRUM



PRUNUS SPP.



PISTACIA CHINENSIS



ARBUTUS 'MARINA'

SHRUBS



RHAPHIOLEPIS 'ENCHANTRESS'



CISTUS HYBRIDS



PHORMIUM SPP.



SALVIA LEUCANTHA



WESTRINGIA FRUTICOSA



ABELIA X GRANDIFLORA

GROUND COVER



FRAGARIA CHILOENSIS



ROSA SPP.



LANTANA MONTEVIDENSIS



THYMUS SPP.



ARCTOSTAPHYLOS SPP.



CEANOTHUS 'CENTENNIAL'

GRASSES



CAREX PRAEGRACILIS



CAREX PANSA



MUHLENBERGIA CAPILLARIS



JUNCUS PATENS



LEYMUS C. 'CANYON PRINCE'



CAREX DIVULSA

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CREEKSIDE VINEYARDS AT SAND CREEK
Antioch, California

PLANT PALETTE
DECEMBER 2019



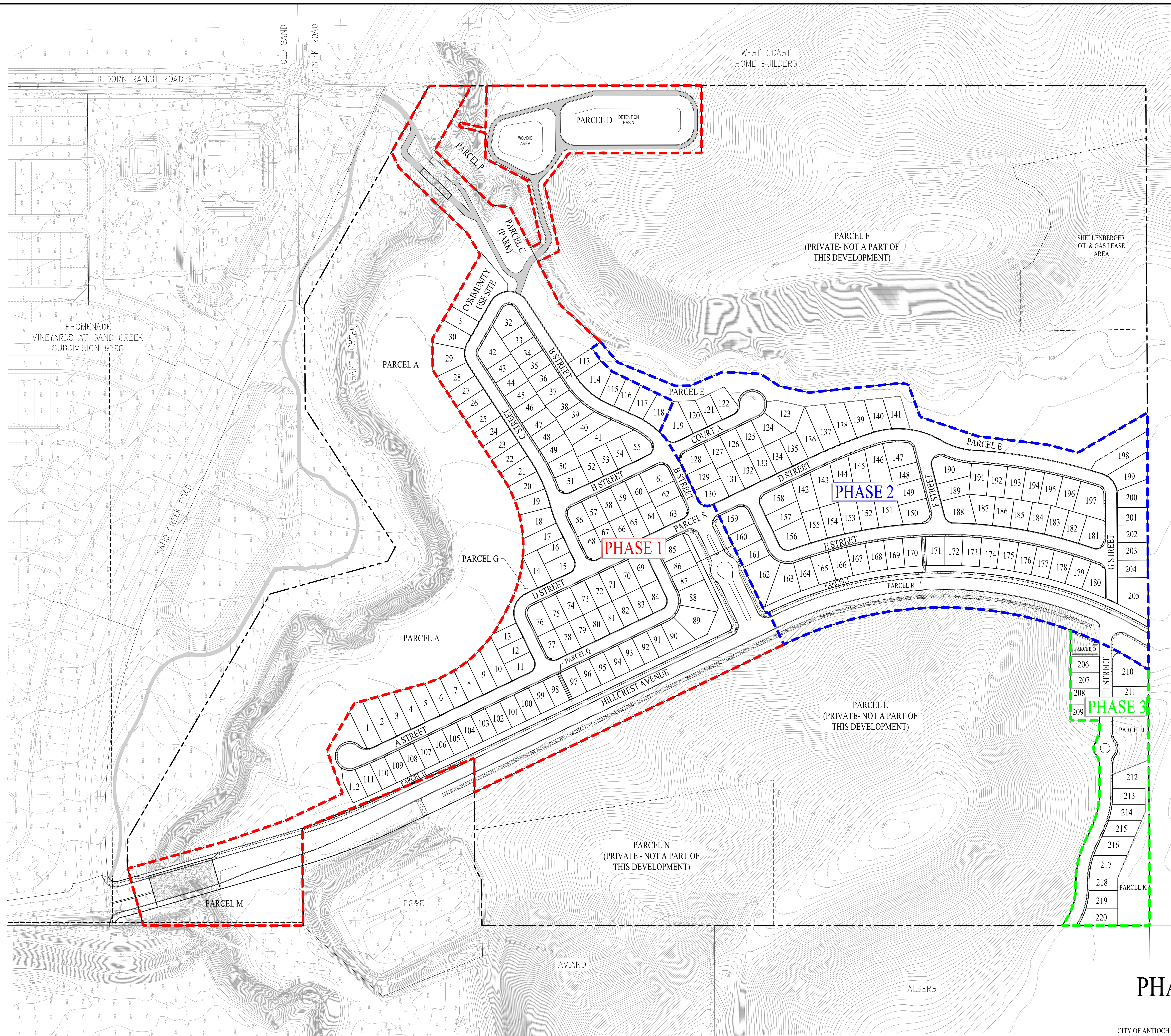
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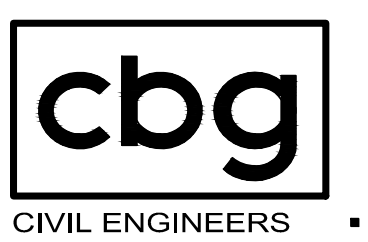
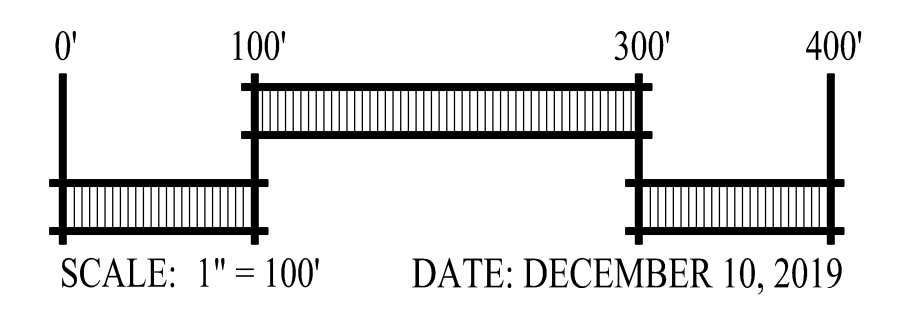
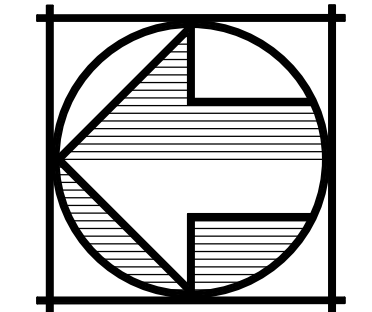
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05419



PHASING MAP CREEKSIDE

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DATE: DECEMBER 10, 2019

F:\19181\41\ACQ\DEV\9817\981700_Phasing Map.dwg



GENERAL NOTES

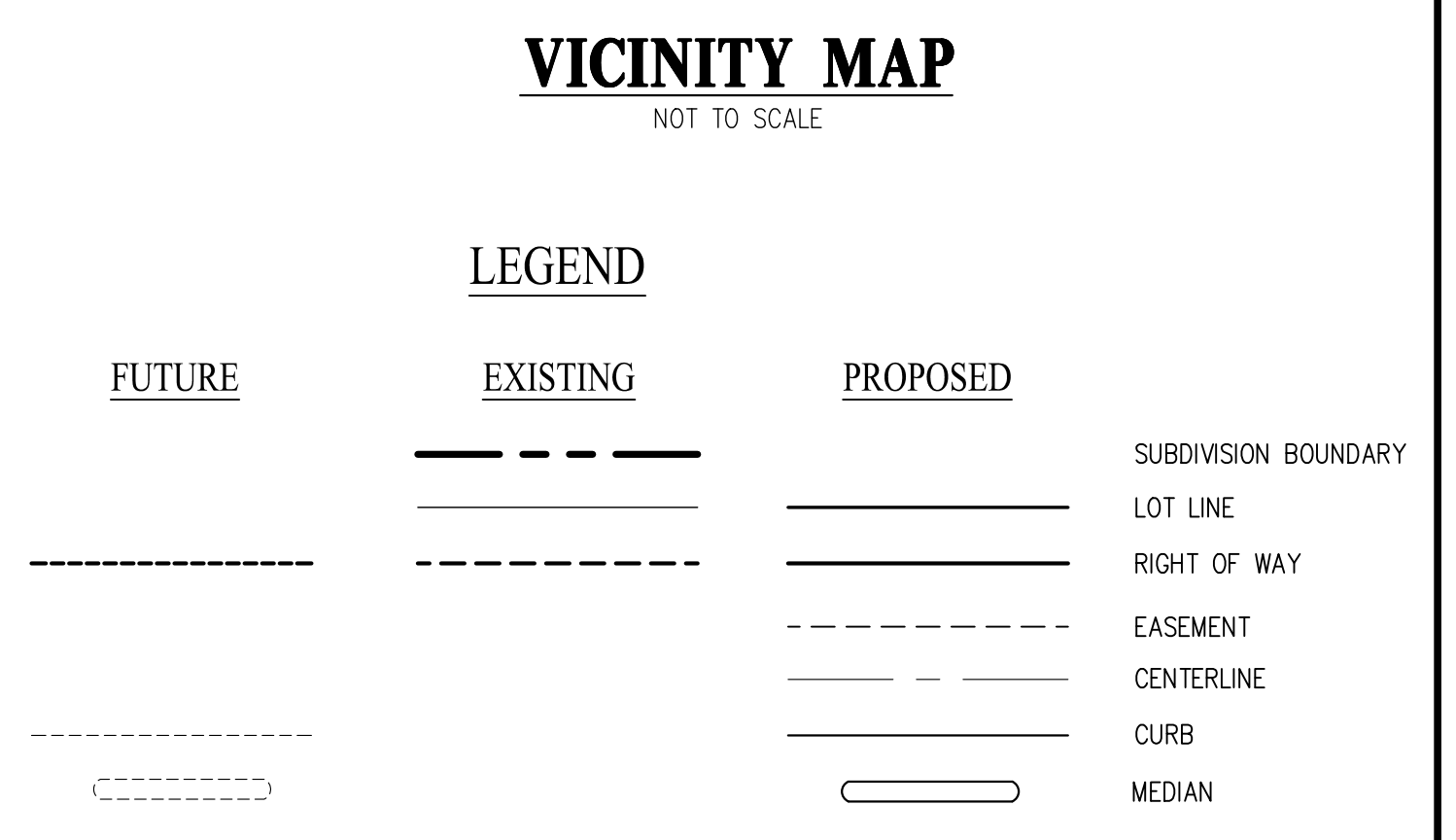
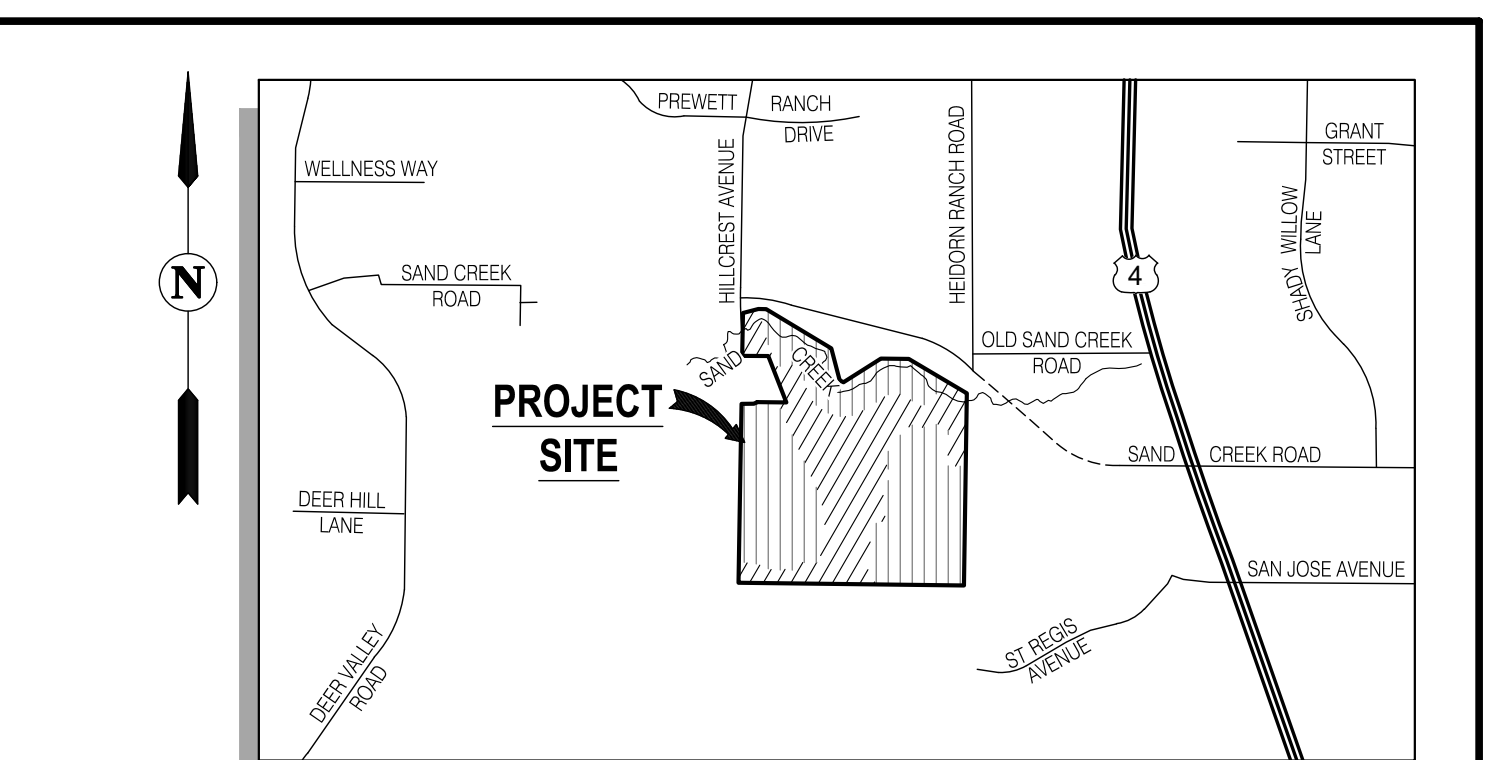
- PROPERTY OWNERS: PETER EUGENE GINDCHIO, ET AL.
- APPLICANT/DEVELOPER: GEN PARTNERS, LLC
3820 BLACKHAWK ROAD
DANVILLE, CA 94508
PHONE: (925) 736-1571
LISA BURBA
- ENGINEER: CARLSON, BARBER, & GIBSON, INC.
2633 CAMINO RAMON, SUITE 500
SAN RAMON, CA 94583
PHONE: (925) 866-0322
ANDREA BELLANCA P.E., RCE 61806
- USE: EXISTING: AGRICULTURAL
PROPOSED: SINGLE FAMILY DETACHED RESIDENTIAL
- GENERAL PLAN: EXISTING: SAND CREEK FOCUS AREA WITH SUBDESIGNATIONS OF "OPEN SPACE/SEMI HOUSING"
PROPOSED: SAND CREEK FOCUS AREA WITH SUBDESIGNATIONS OF "MEDIUM LOW DENSITY RESIDENTIAL" AND "OPEN SPACE"
PROPOSED: PLANNED DEVELOPMENT (PD)
- ZONING: EXISTING: STUDY AREA
PROPOSED: PLANNED DEVELOPMENT (PD)
- LAND AREA SUMMARY:

RESIDENTIAL LOT AREA	28.04 ACRES
PRIVATE PARK	1.94 ACRES
PRIVATE OPEN SPACE	6.14 ACRES
PRIVATE LANDS (PARCEL A, P, F, N, L)	99.38 ACRES
PUBLIC STREET (HILLCREST AVENUE)	7.84 ACRES
PRIVATE STREET	9.14 ACRES
WATER QUALITY/RETENTION BASIN	4.04 ACRES
TOTAL PROPERTY AREA	158.22 ACRES
ADDITIONAL AREA OUTSIDE OF PROPERTY BOUNDARY	1.81 ACRES
TOTAL DEVELOPED AREA	59.34 ACRES
- TOTAL NO. OF EX. LOTS: 1
- TOTAL NO. OF PR. LOTS: 220
- MIN LOT SIZE: 4,500 SF
- AVG LOT SIZE: 5,4734 SF

GENERAL NOTES (CONTD)

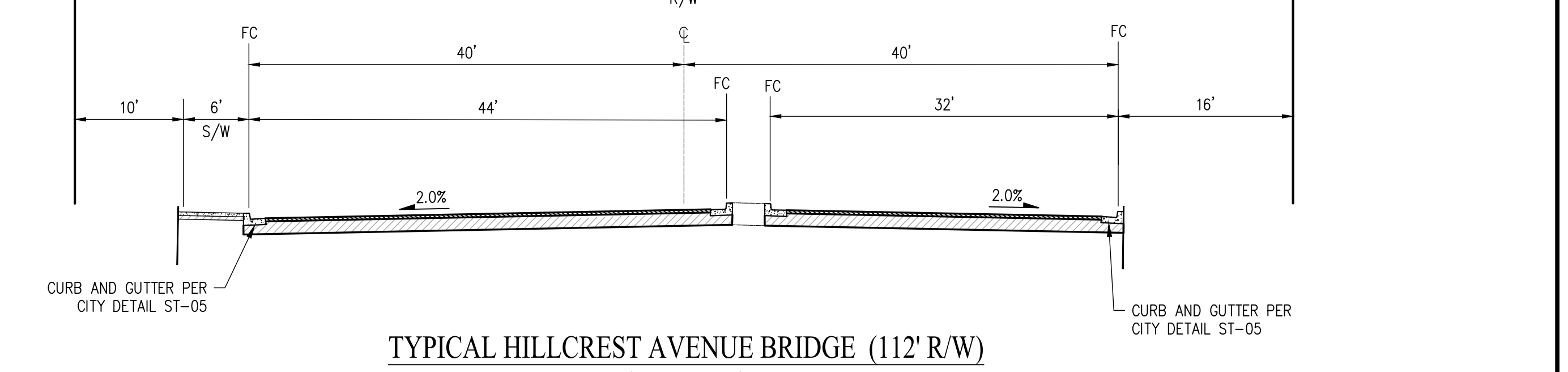
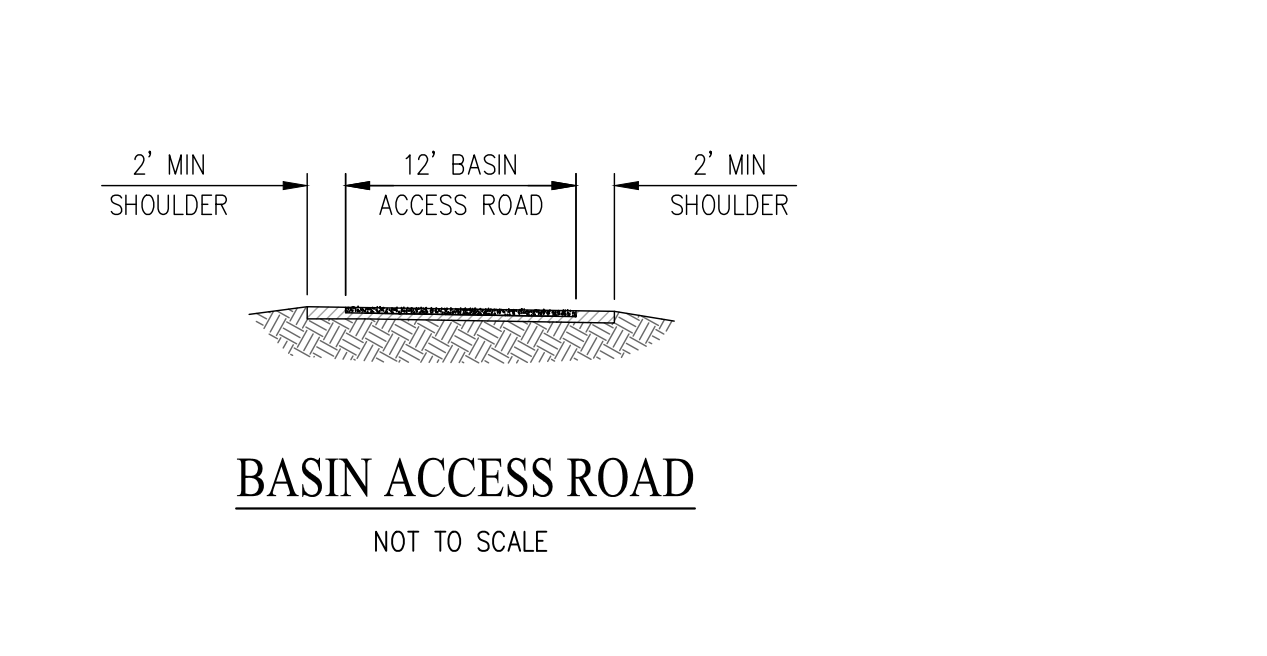
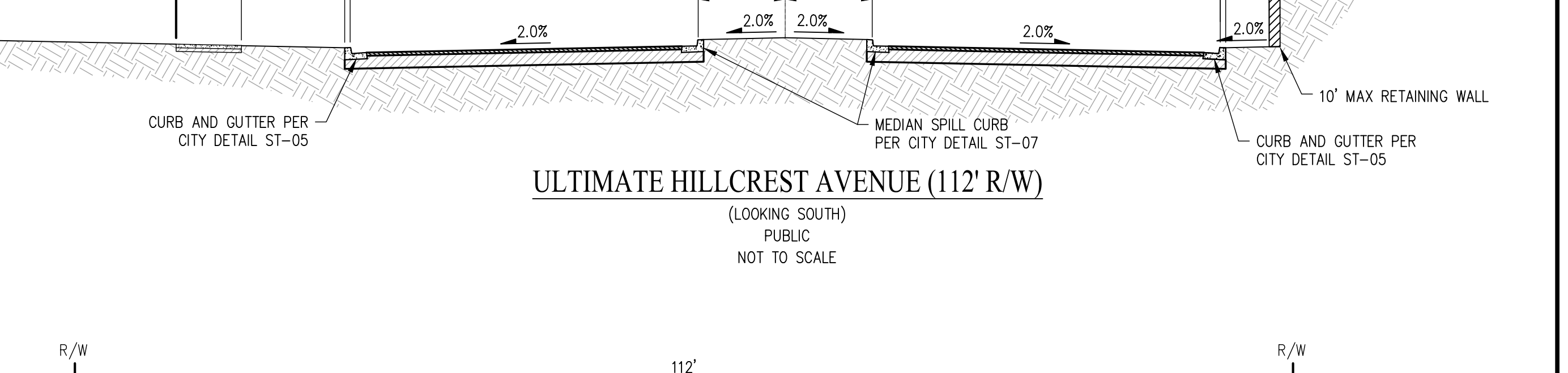
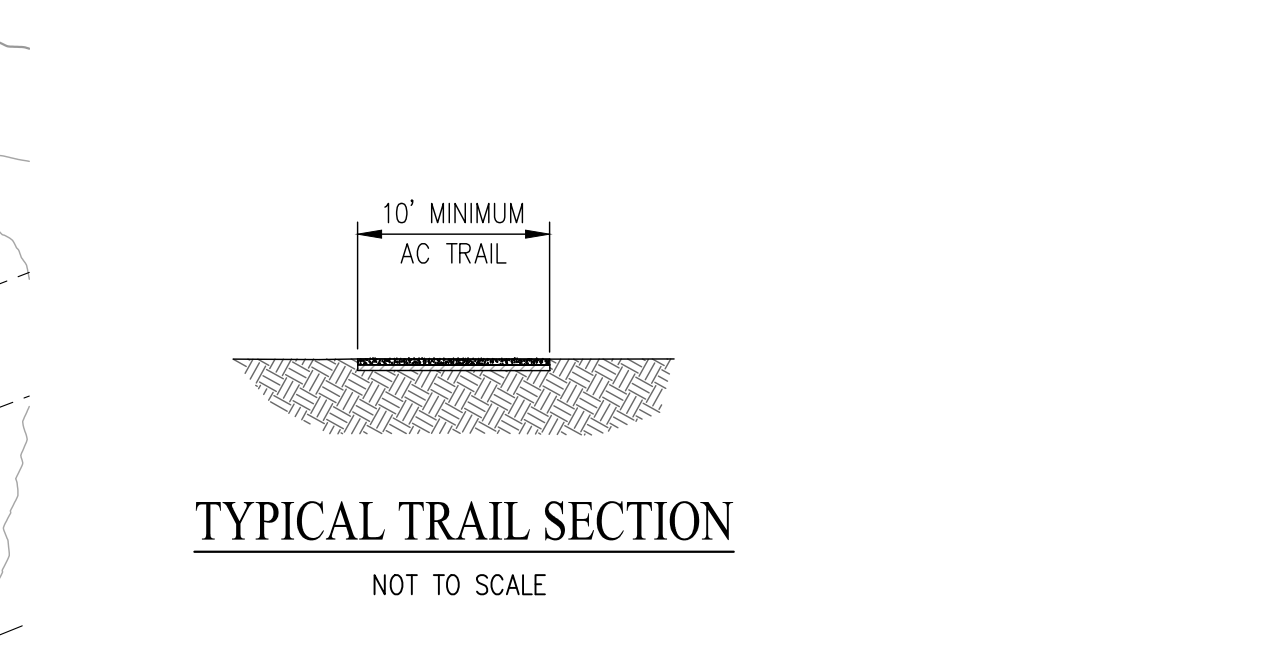
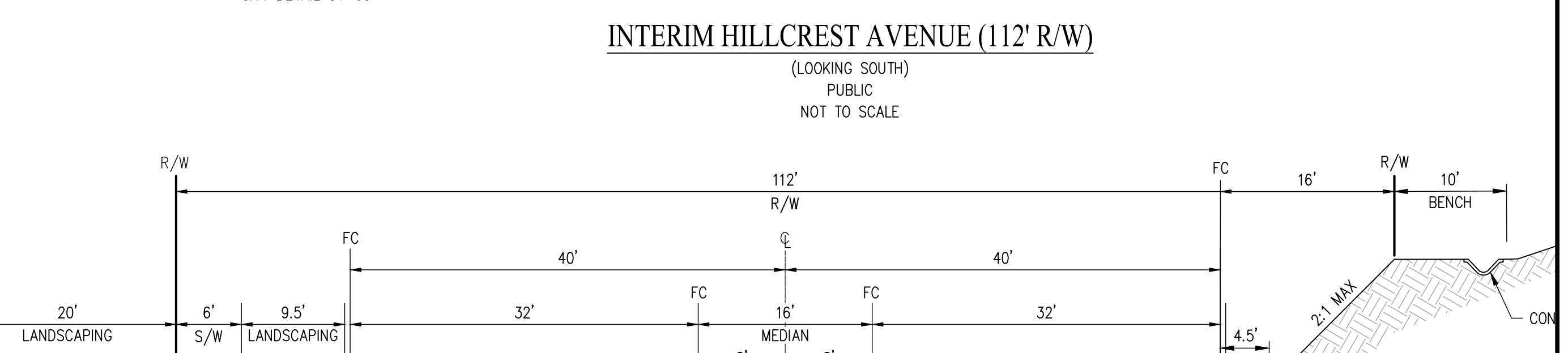
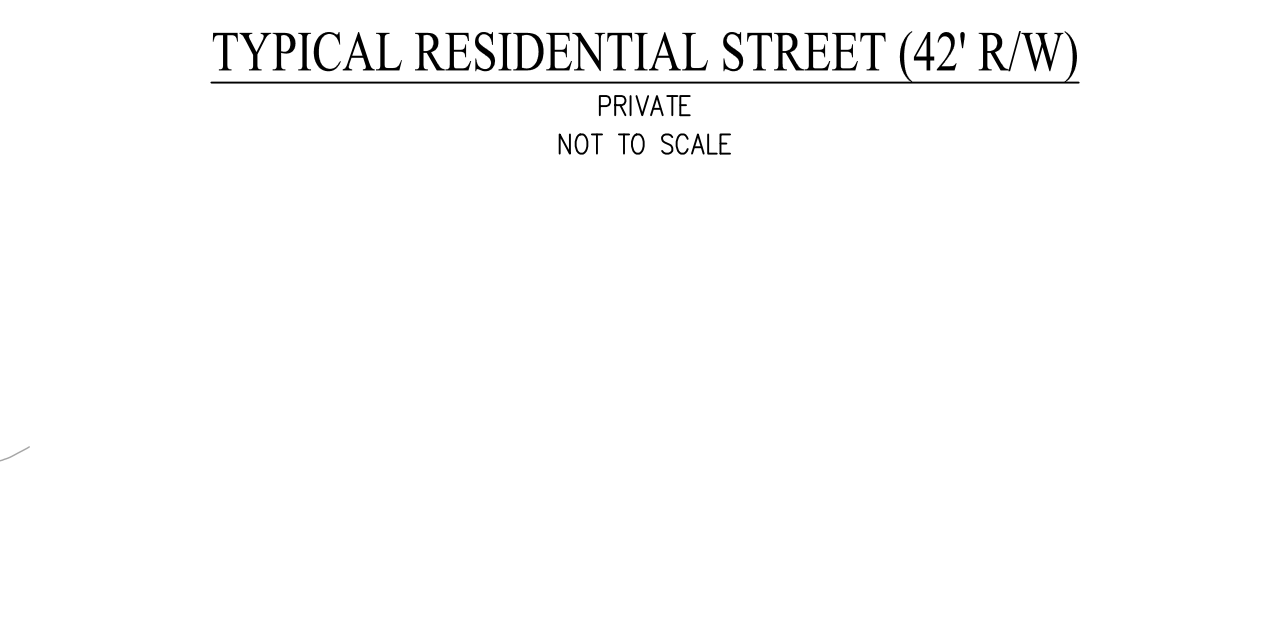
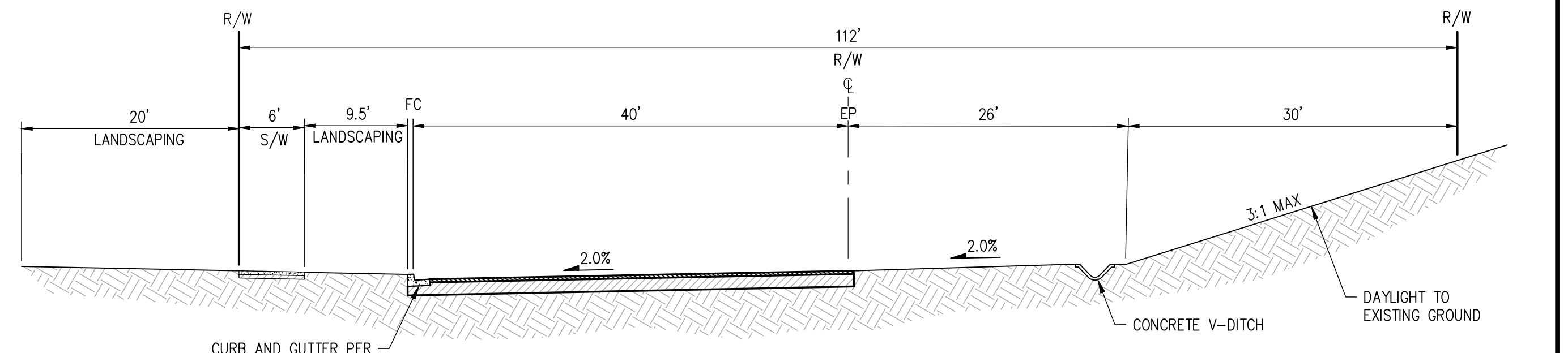
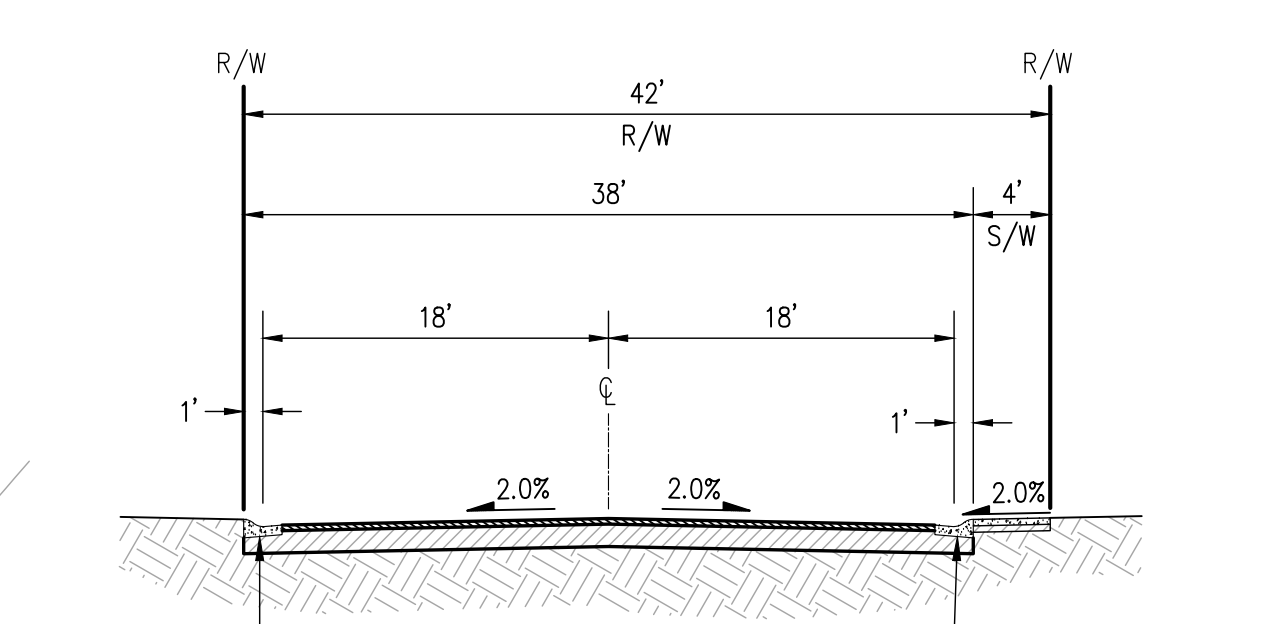
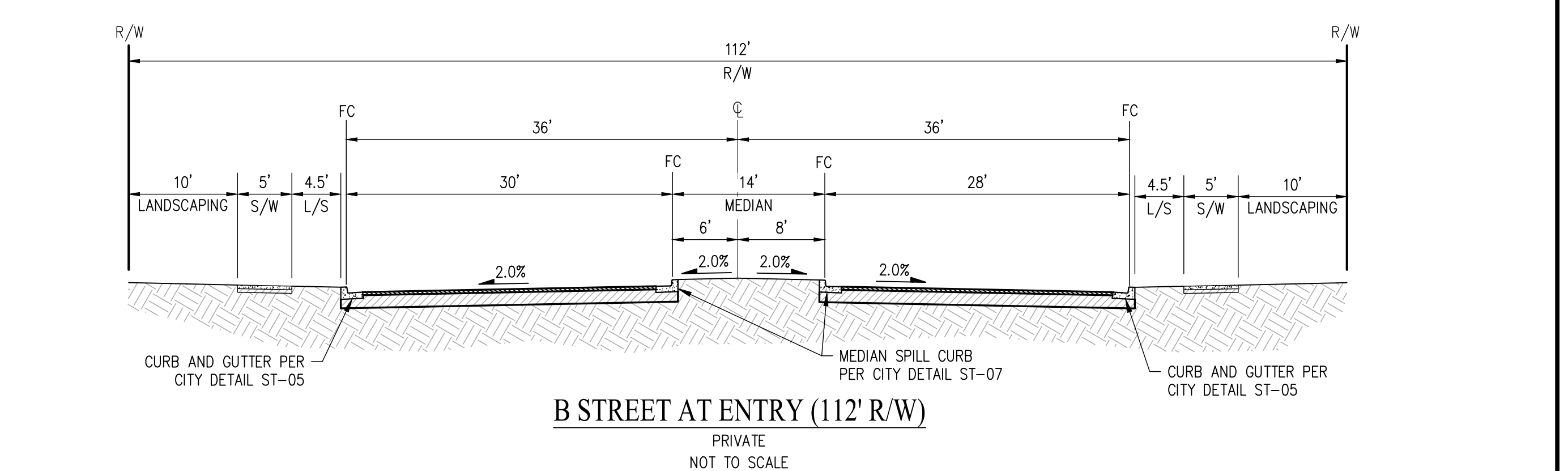
- LOT MIX MAY BE "MARKET RATE" AND/OR "ACTIVE ADULT", ACTIVE ADULT MAY INCLUDE DUETS.
- MAXIMUM LOT COVERAGE FOR MEDIUM LOW DENSITY RESIDENTIAL IS 60% FOR SINGLE STORY, 54% FOR TWO-STORY.
- RESIDENTIAL LOT BREAKDOWN:

134 LOTS (50' x 90' MIN) (NORTH OF B STREET)	
86 LOTS (55' x 90' MIN) (SOUTH OF B STREET)	
220 RESIDENTIAL LOTS TOTAL	
- DENSITY: 220 DWELLING UNITS/158.2 ACRES = 1.4 DWELLING UNITS/AC (GROSS)
220 DWELLING UNITS/59.34 ACRES = 3.7 DWELLING UNITS/AC (NET)
- APN: 057-050-024
- CONTOUR INTERVALS: EXISTING = 2 FOOT
PROPOSED = 2 FOOT
- PROPOSED GRADING AS SHOWN IS PRELIMINARY. FINAL GRADING IS SUBJECT TO FINAL DESIGN.
- ALL GRADING WILL BE IN CONFORMANCE WITH THE RECOMMENDATIONS AND CONDITIONS OF THE GEOTECHNICAL ENGINEER AND REPORT REGARDING THIS PROJECT NO. 4884.002.001
- MAXIMUM CUT OR FILL SLOPE IS 2:1.
- ALL TREES AND FENCES WITHIN DEVELOPED AREA TO BE REMOVED, UNLESS NOTED OTHERWISE.
- ALL EXISTING STRUCTURES TO BE REMOVED, UNLESS NOTED OTHERWISE.
- BOUNDARY IS PER RECORD INFORMATION.
- PROPOSED DEVELOPED AREA IS NOT SUBJECT TO INUNDATION.
- ALL INTERIOR STREETS ARE PRIVATE TO BE MAINTAINED BY HOA WITH UTILITY EASEMENTS DEDICATED TO THE CITY OF ANTIOCH.
- HILLCREST AVENUE SHALL BE A PUBLIC ROADWAY DEDICATED TO THE CITY OF ANTIOCH.
- MULTIPLE FINAL MAPS MAY BE FILED ON THE LANDS SHOWN ON THIS MAP. A MASTER FINAL MAP MAY BE FILED TO CREATE SELLABLE PARCELS.



PARCEL SUMMARY

PARCEL	LAND USE	ACREAGE	OWNER
PARCEL A	PRIVATE LANDS (DEED RESTRICTED AREA)	23.7 AC	HOA
PARCEL B	PRIVATE PARK	0.42 AC	HOA
PARCEL C	PRIVATE PARK	2.84 AC	HOA
PARCEL D	WATER QUALITY/RETENTION BASIN/LANDSCAPING	3.90 AC	CITY
PARCEL E	OPEN SPACE	2.3 AC	HOA
PARCEL F	PRIVATE LANDS	39.3 AC	HOA
PARCEL G	PRIVATE PARK	0.17 AC	HOA
PARCEL H	LANDSCAPING	1.58 AC	HOA
PARCEL I	LANDSCAPING	0.57 AC	HOA
PARCEL J	PRIVATE PARK	0.49 AC	HOA
PARCEL K	OPEN SPACE	0.85 AC	HOA
PARCEL L	PRIVATE LANDS	27.58 AC	HOA
PARCEL M	OPEN SPACE	1.34 AC	HOA
PARCEL N	PRIVATE LANDS (DEED RESTRICTED AREA)	8.0 AC	HOA
PARCEL O	WATER QUALITY	0.33 AC	HOA
PARCEL P	PRIVATE LANDS	1.26 AC	HOA
PARCEL Q	PEDESTRIAN ACCESS	0.03 AC	HOA
PARCEL R	PEDESTRIAN ACCESS	0.03 AC	HOA
PARCEL S	PRIVATE STREET	9.10 AC	HOA



SHEET INDEX

- DIMENSION PLAN
- LOT AREA PLAN
- CONCEPTUAL GRADING PLAN
- CONCEPTUAL UTILITY PLAN
- PARKING PLAN
- LARGE LOT FINAL MAP

VERTICAL DATUM: NAVD 88

VESTING TENTATIVE MAP AND DIMENSION PLAN
CREEKSIDE
VINEYARDS AT SAND CREEK
SUBDIVISION 9501

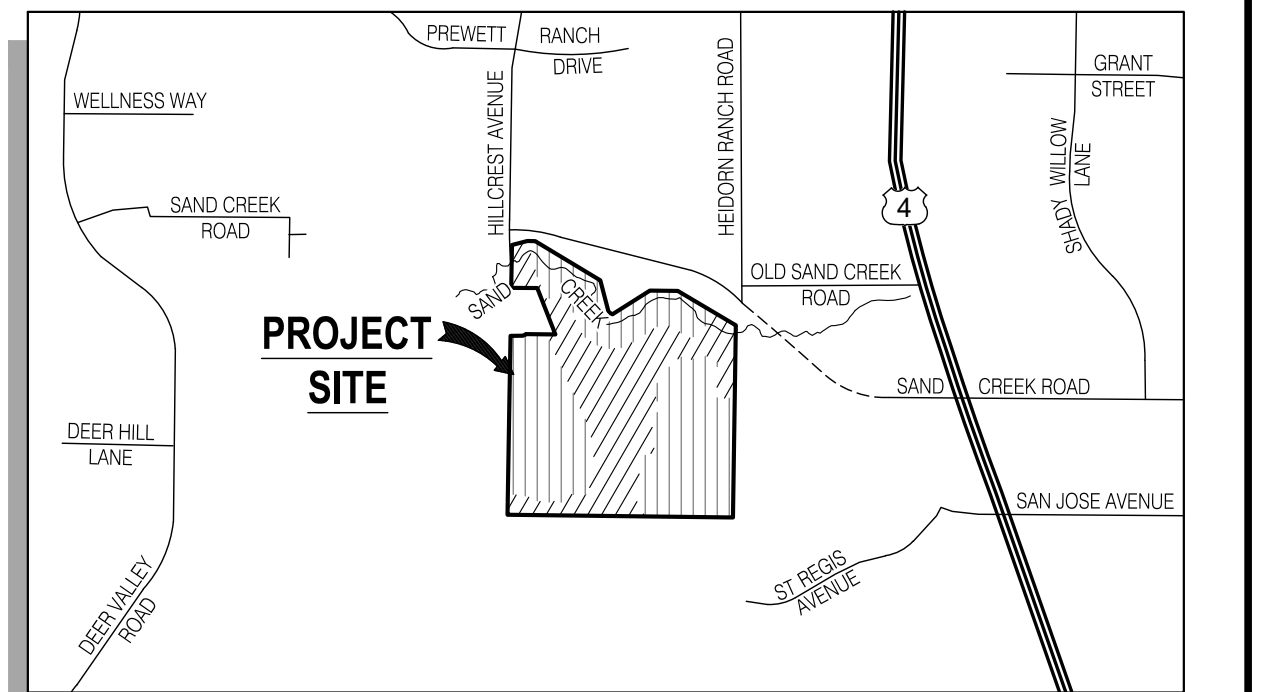
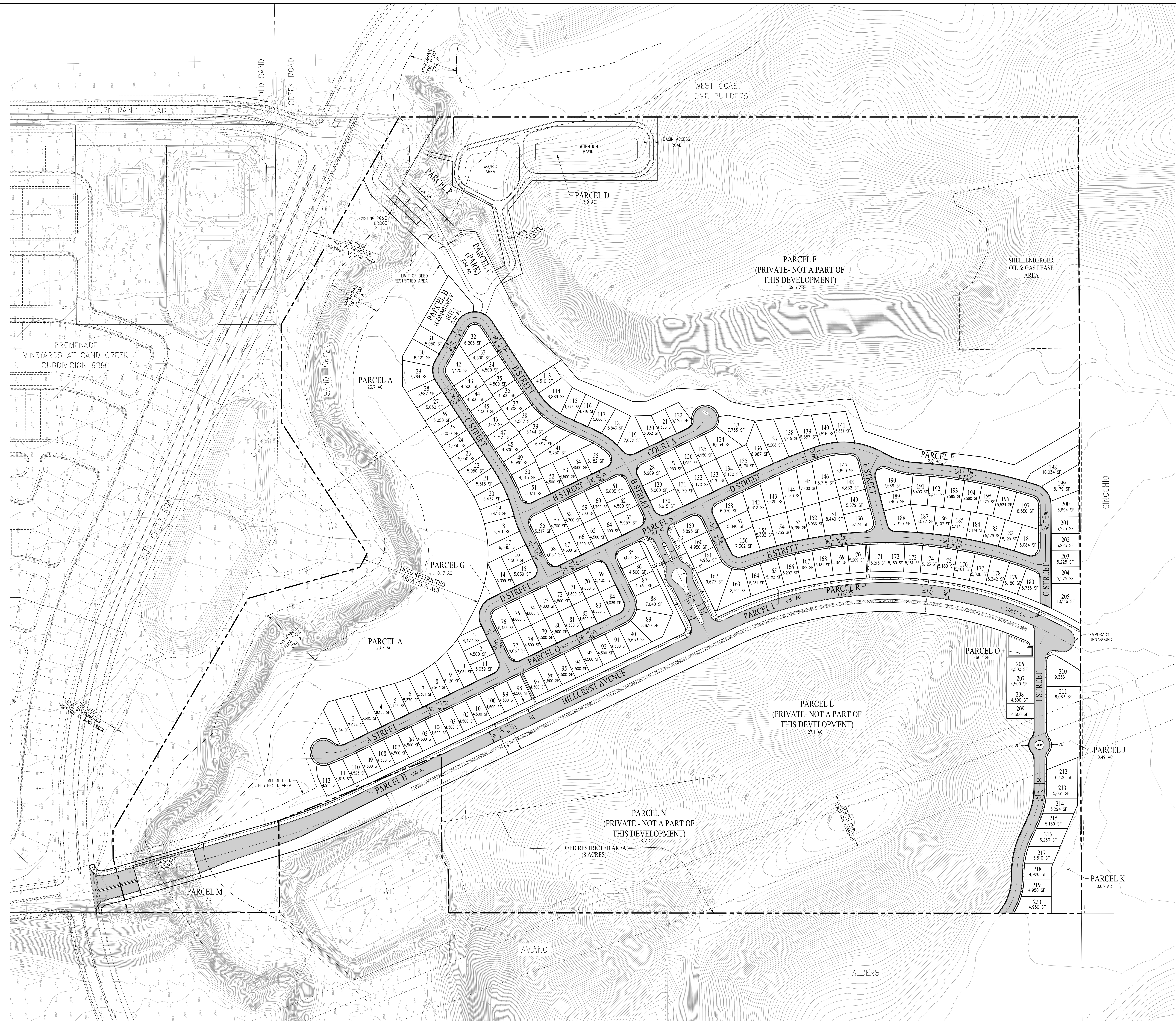
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SAN RAMON SACRAMENTO
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• (916) 375-1877
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SCALE: 1" = 100'
DATE: DECEMBER 13, 2019
JOB NO.: 974-S1

SHEET NO. **1** OF 6 SHEETS

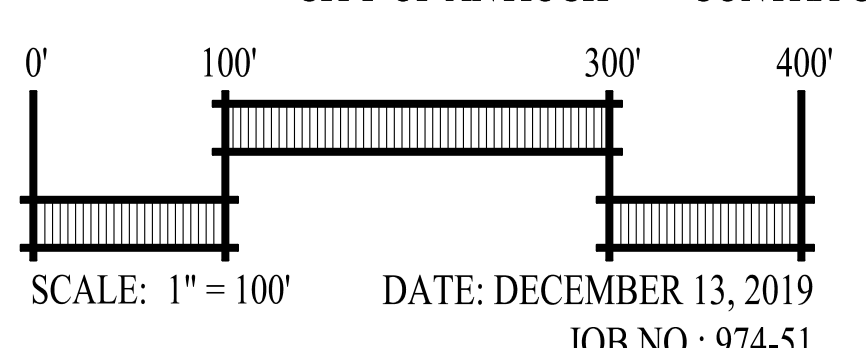
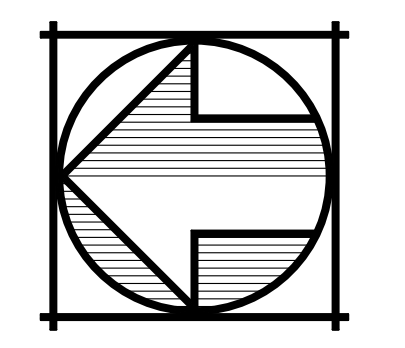


VICINITY MAP
NOT TO SCALE

LEGEND

FUTURE	EXISTING	PROPOSED	
			SUBDIVISION BOUNDARY
			LOT LINE
			RIGHT OF WAY
			EASEMENT
			CENTERLINE
			CLRS
			MEAN

**VESTING TENTATIVE MAP
AND LOT AREA PLAN
CREEKSIDE
VINEYARDS AT SAND CREEK
SUBDIVISION 9501**

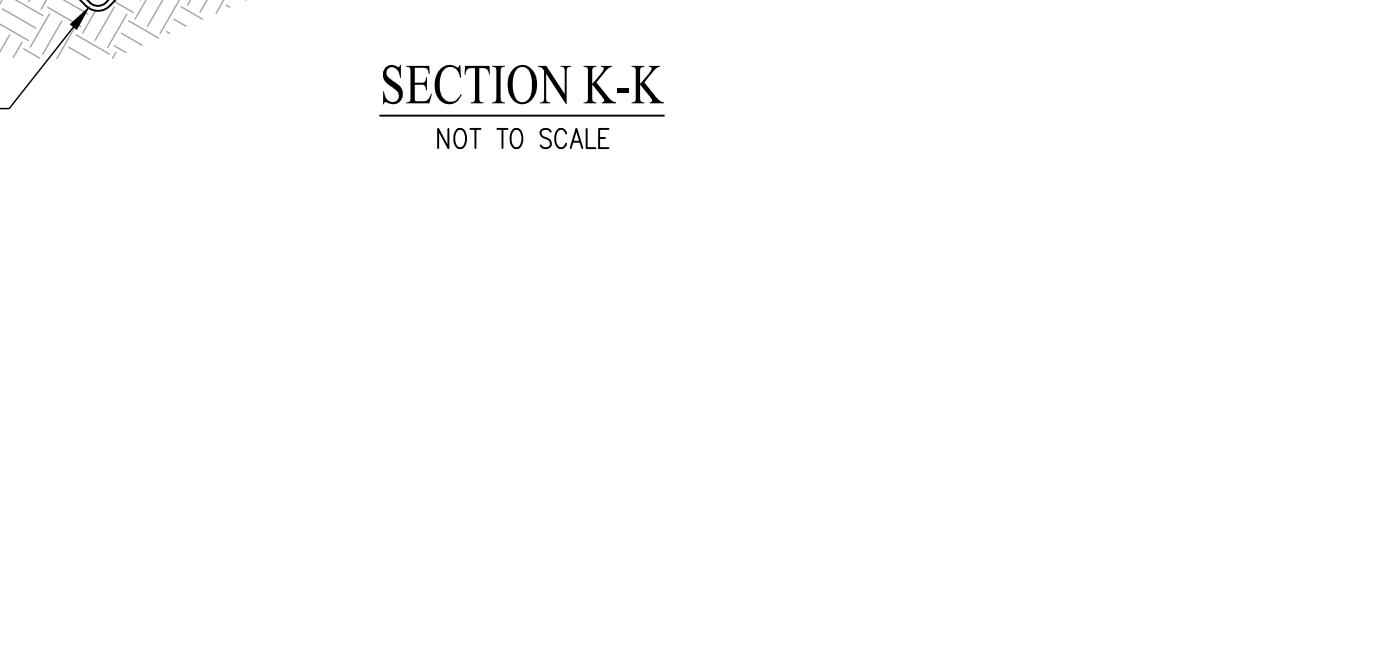
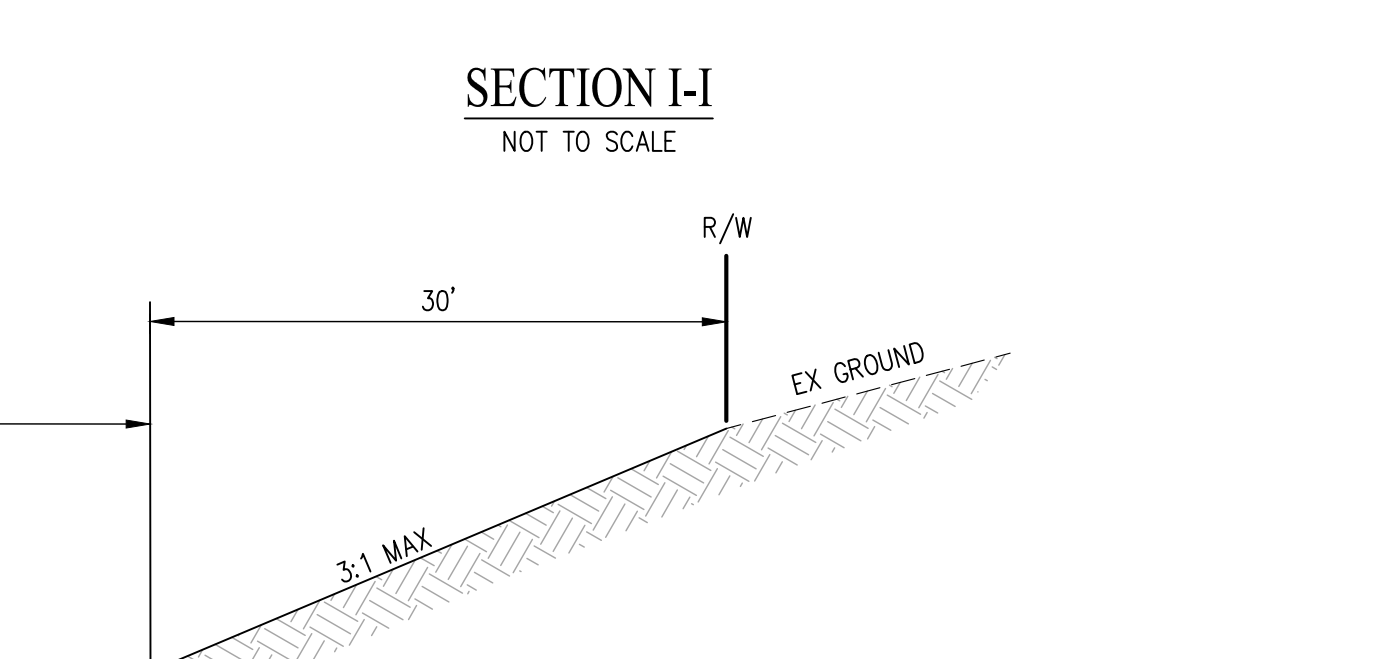
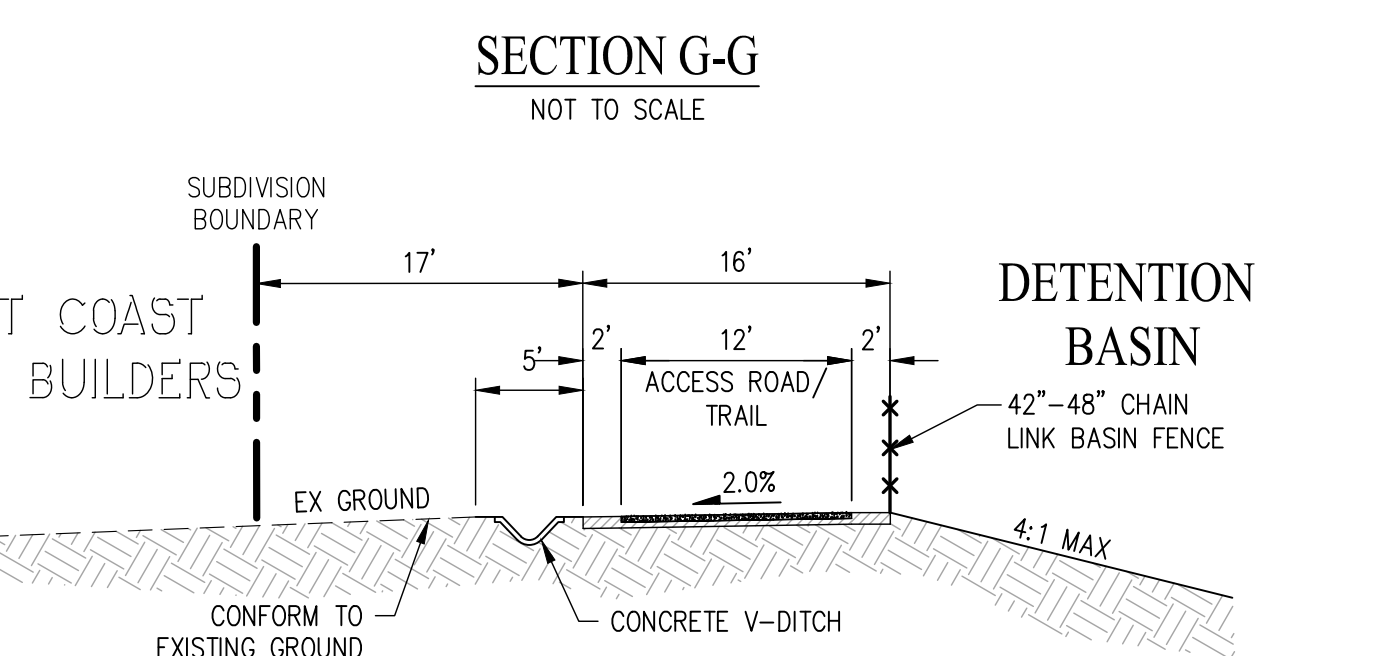
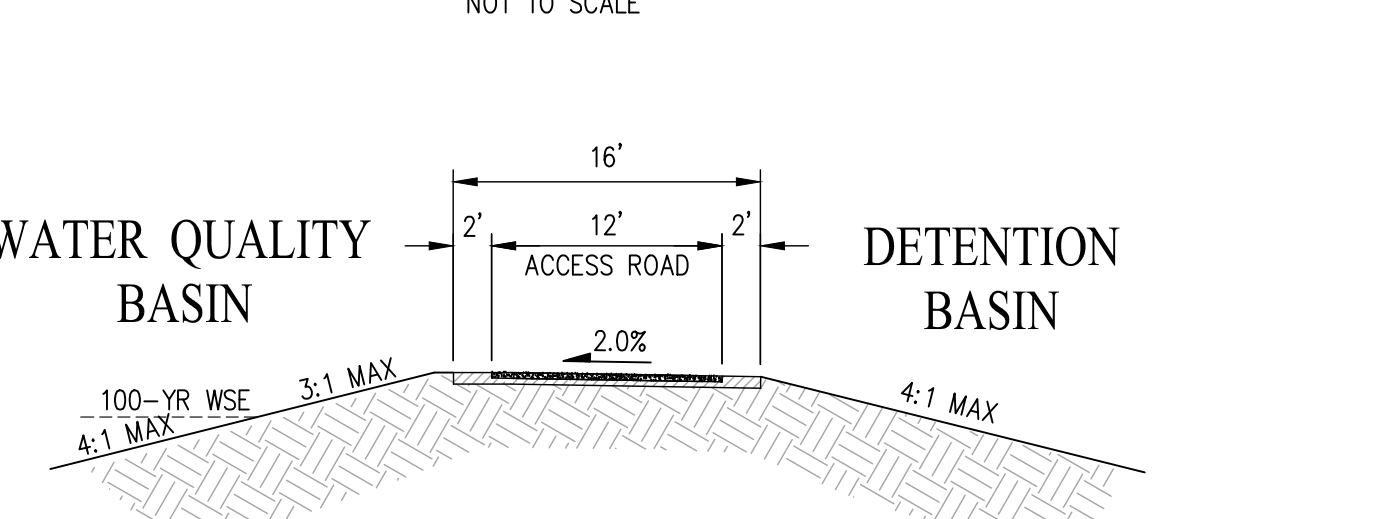
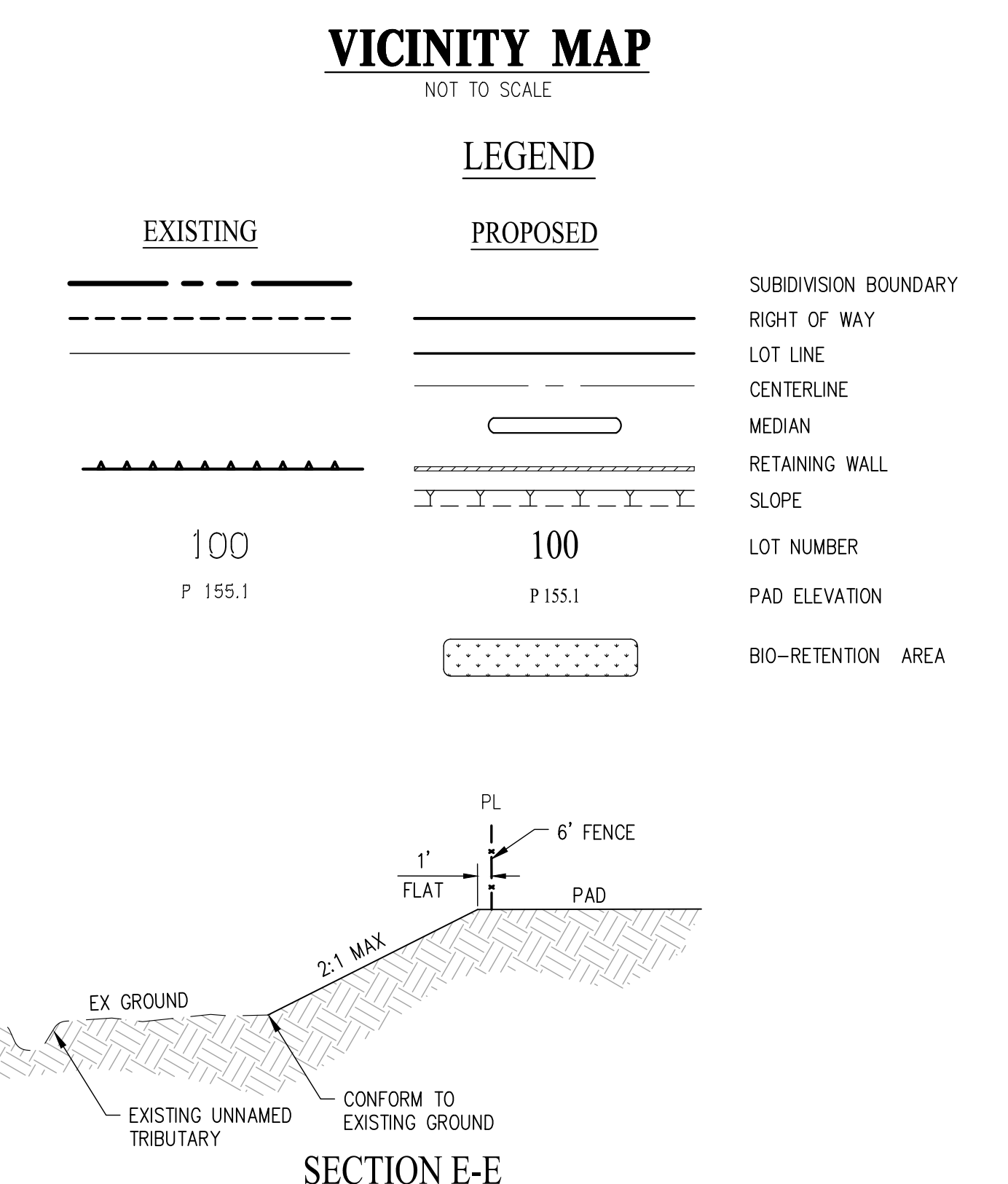
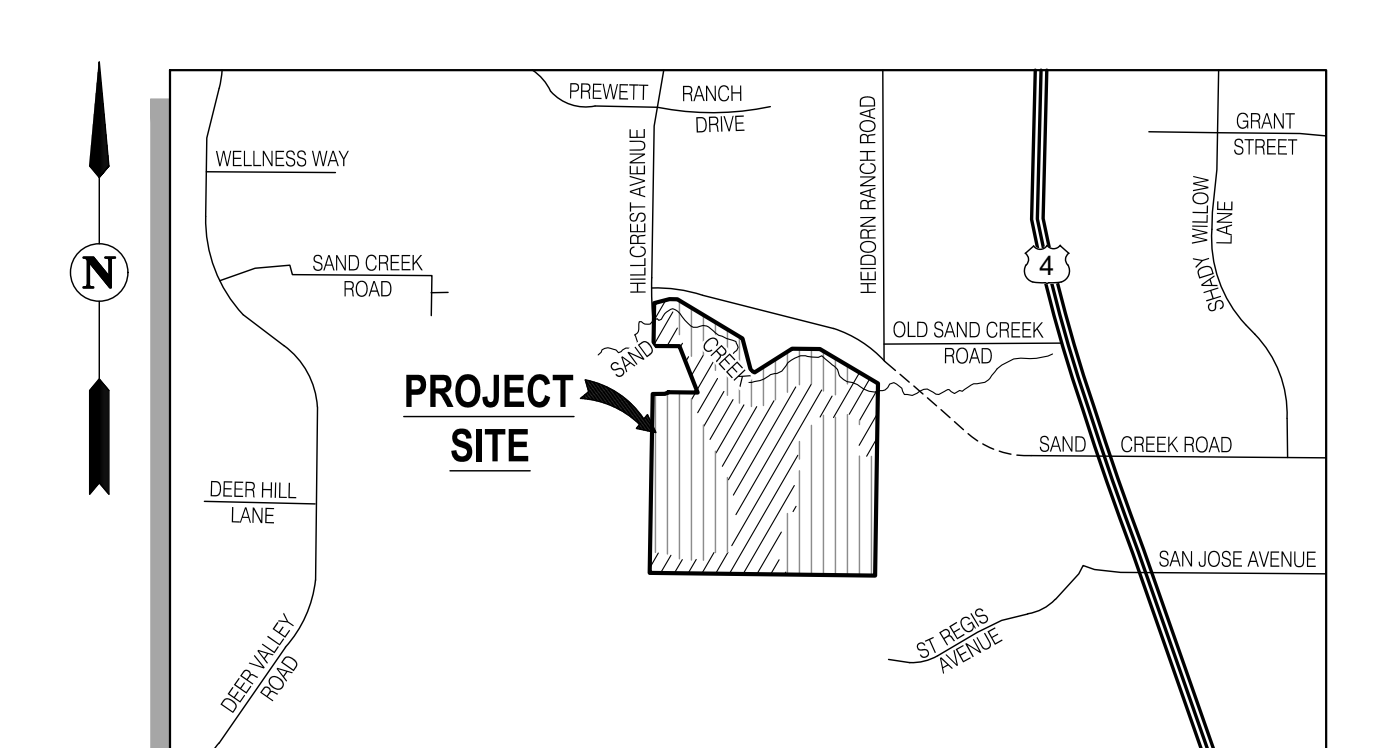
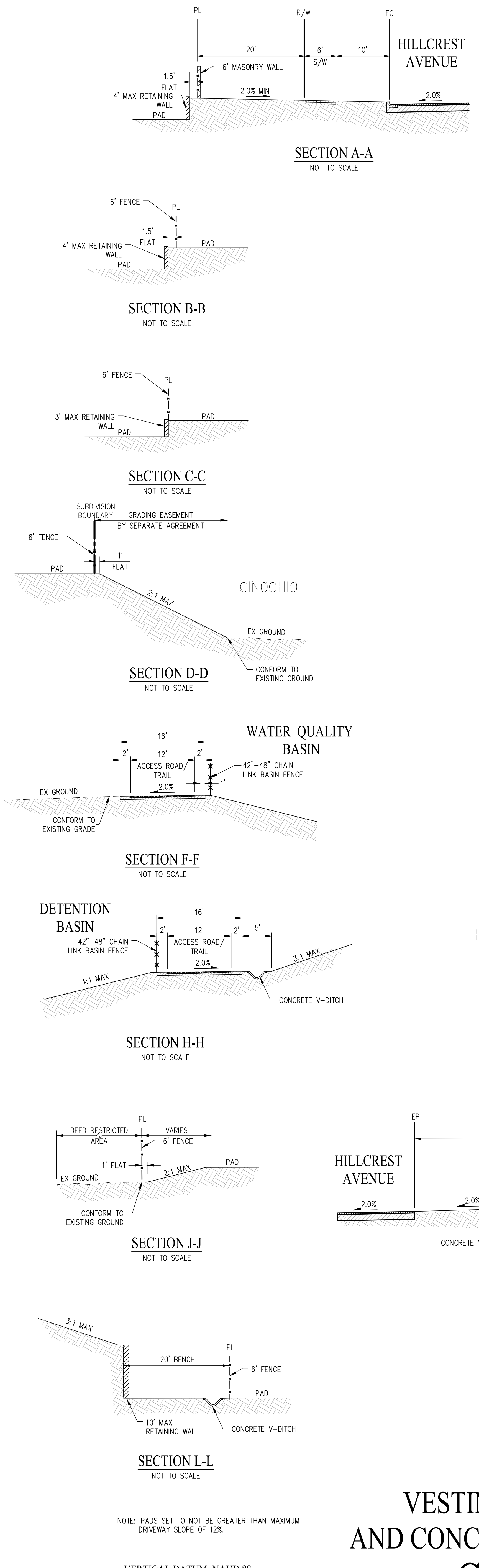
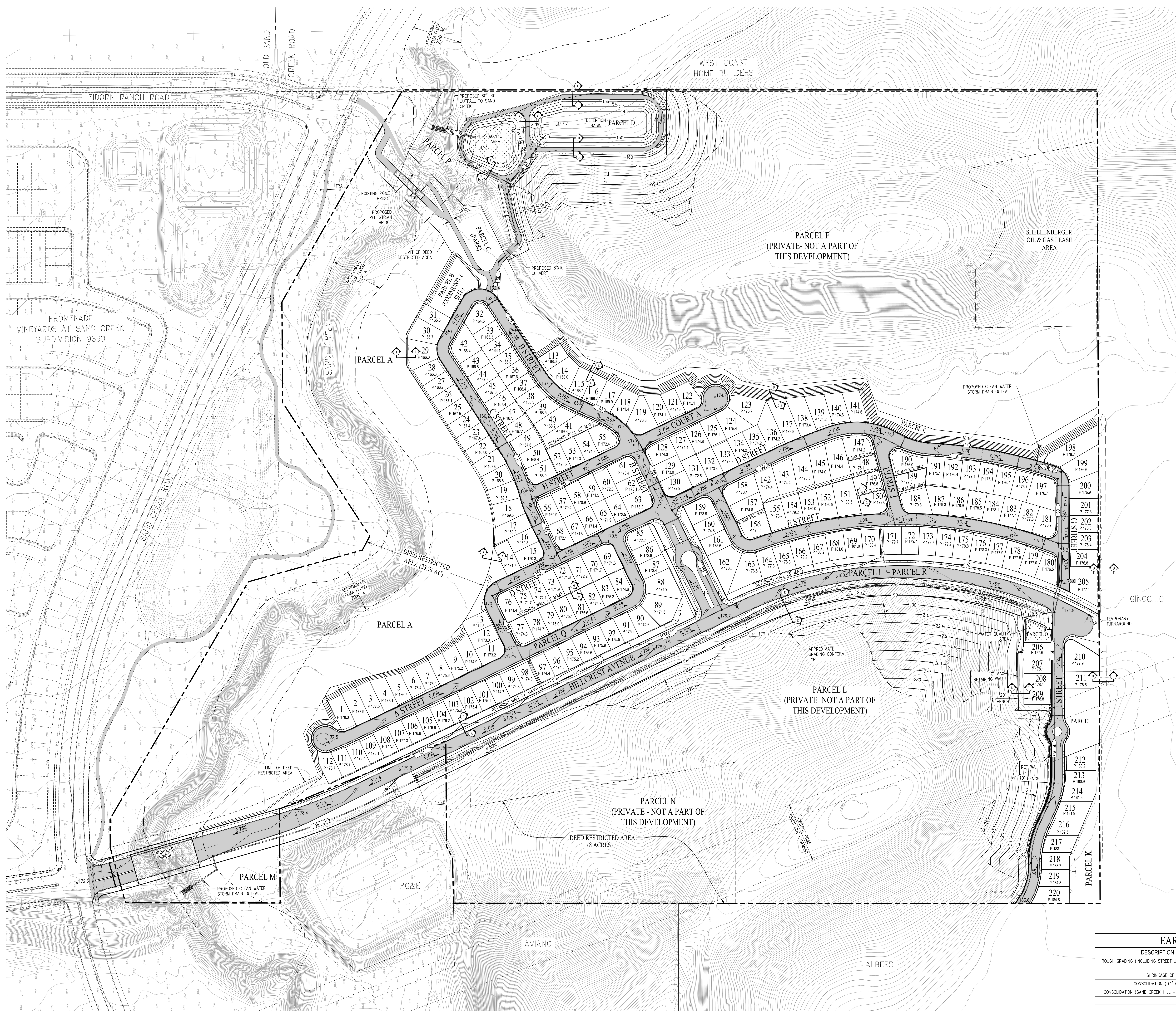


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DATE: DECEMBER 13, 2019
JOB NO.: 974-S1



EARTHWORK SUMMARY		
DESCRIPTION	CUT (CY)	FILL (CY)
ROUGH GRADING (INCLUDING STREET UNDERCUT FOR UTILITY SPOLS, ASSUME 6%)	531,750	478,730
SHRINKAGE OF CUT MATERIALS (10%)	(53,175)	-
CONSOLIDATION (0.1\"/>		

**VESTING TENTATIVE MAP
AND CONCEPTUAL GRADING PLAN
CREEKSIDE
VINEYARDS AT SAND CREEK
SUBDIVISION 9501**

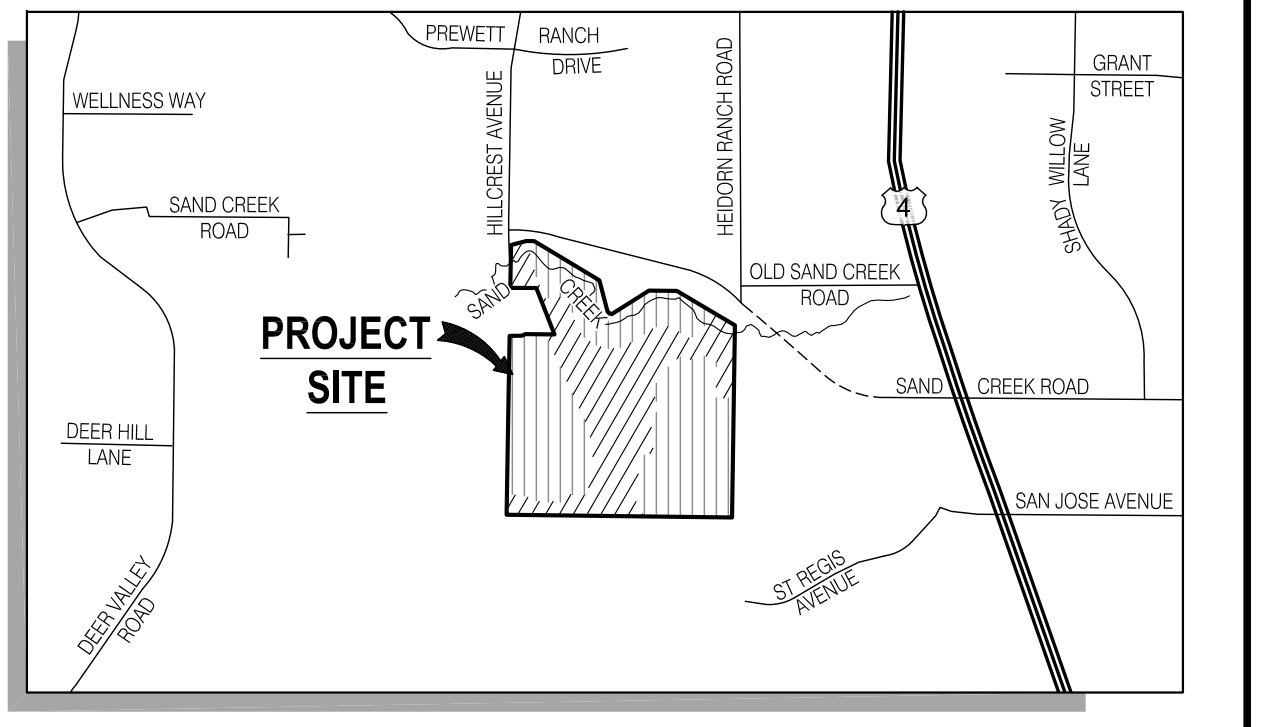
CITY OF ANTIOCH CONTRA COSTA COUNTY CALIFORNIA

SCALE: 1" = 100'

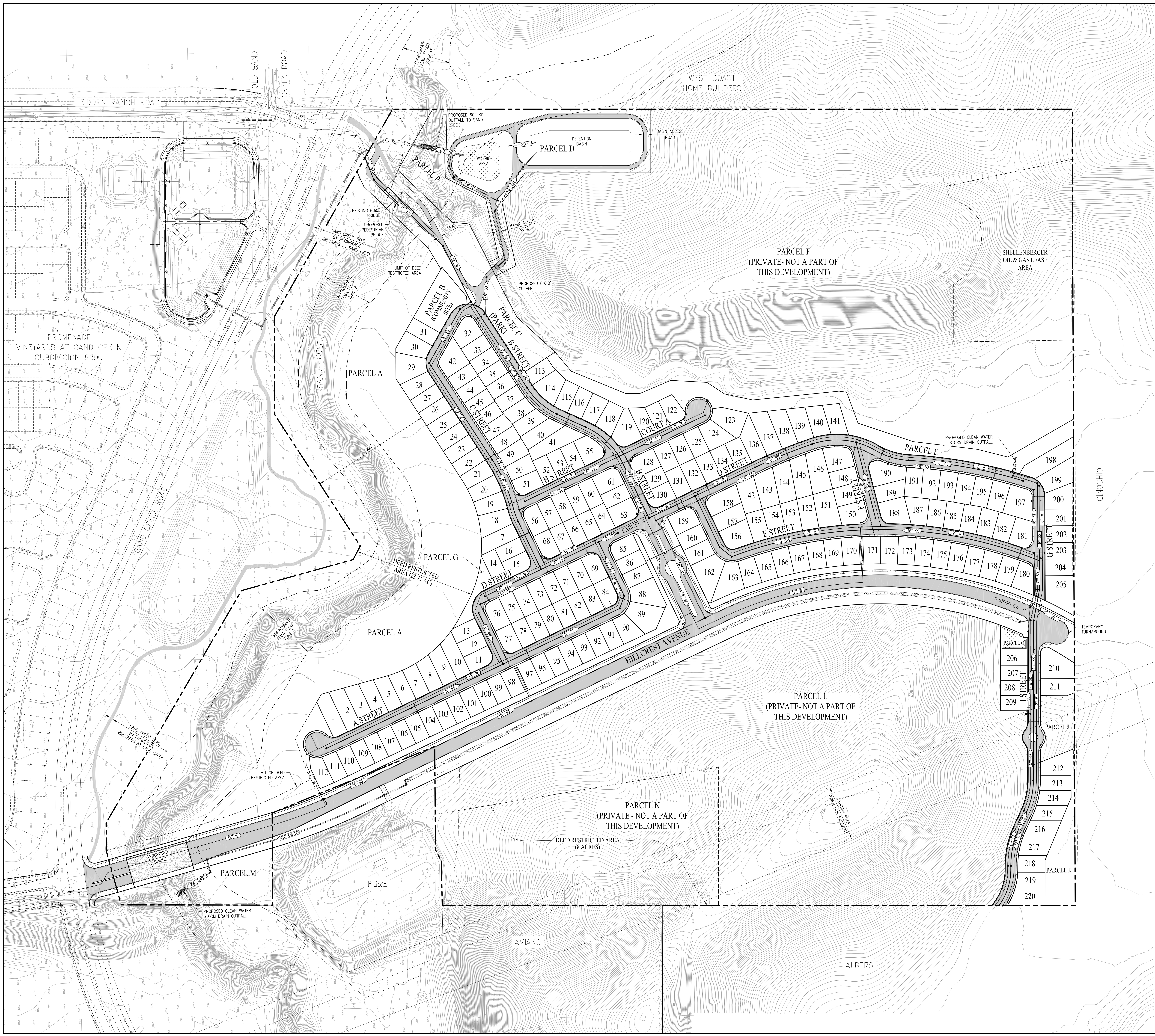
DATE: DECEMBER 13, 2019
JOB NO.: 974-51

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SHEET NO.
3
OF 6 SHEETS



VICINITY MAP
NOT TO SCALE



LEGEND

EXISTING	PROPOSED	FUTURE	
			STORM DRAIN LINE
			CLEAN WATER STORM DRAIN LINE
			SANITARY SEWER LINE
			WATER LINE
			GAS PIPE
			SANITARY SEWER MANHOLE
			STORM DRAIN MANHOLE
			CATCH BASIN
			FIELD INLET
			WATER VALVE
			AIR RELEASE VALVE
			FIRE HYDRANT
			BLOW OFF VALVE
			LOT NUMBER
			BIO-RETENTION AREA

**VESTING TENTATIVE MAP
AND CONCEPTUAL UTILITY PLAN
CREEKSIDE
VINEYARDS AT SAND CREEK
SUBDIVISION 9501**

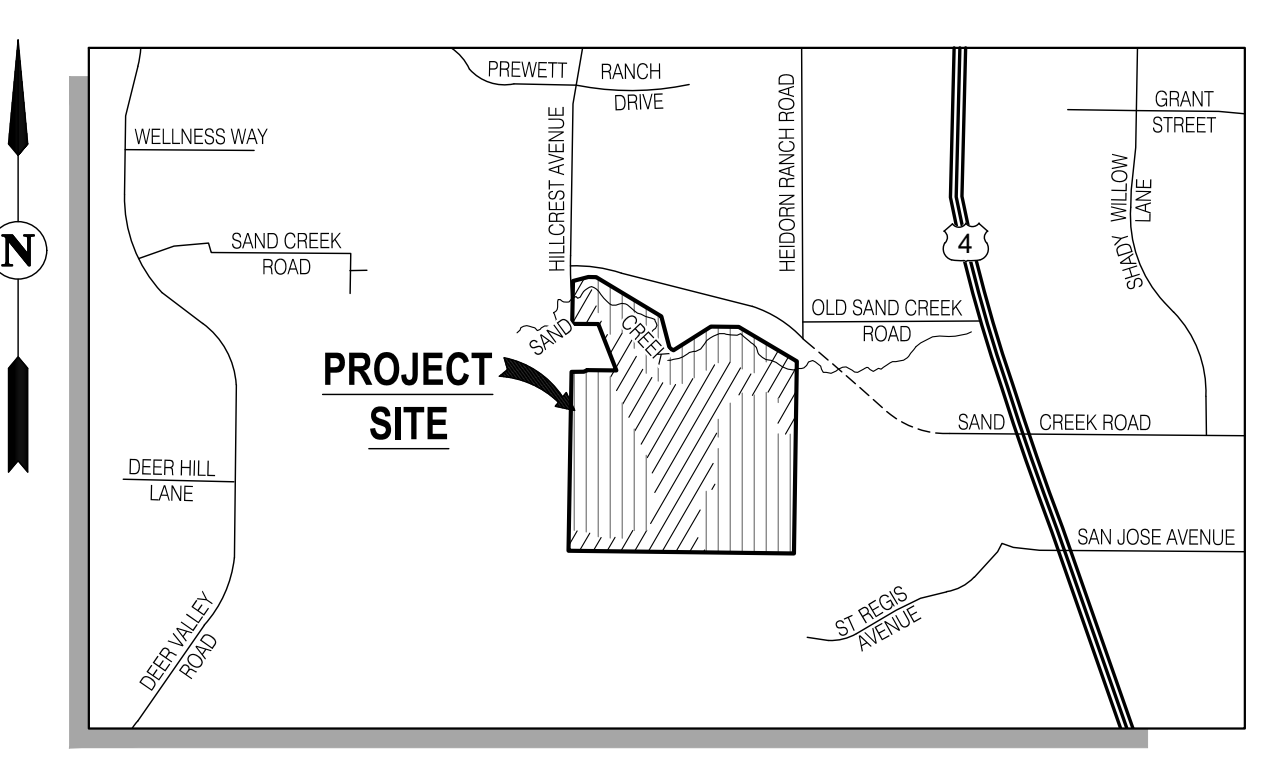
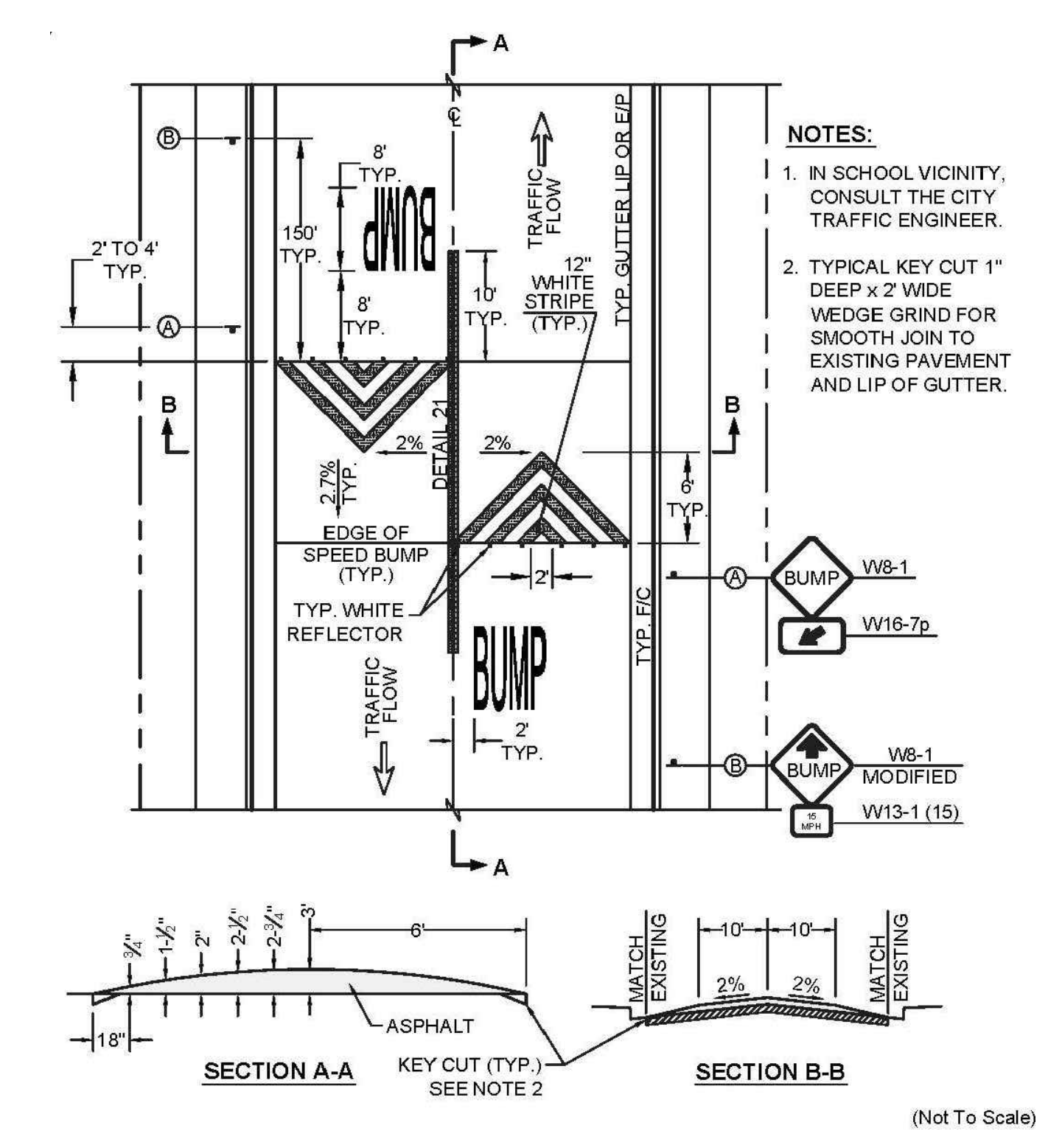
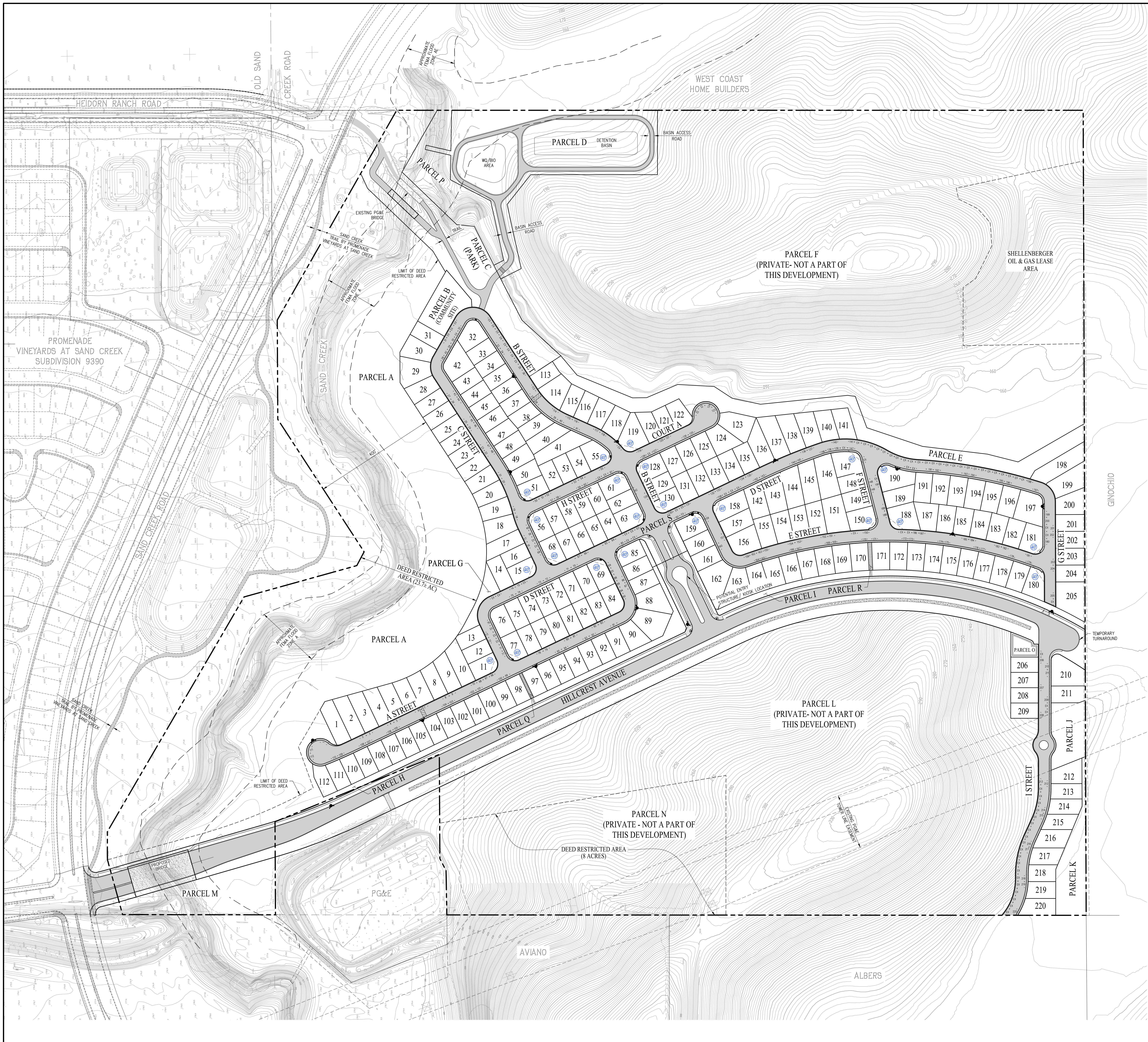
CITY OF ANTIOCH CONTRA COSTA COUNTY CALIFORNIA

SCALE: 1" = 100' DATE: DECEMBER 13, 2019 JOB NO.: 974-S1

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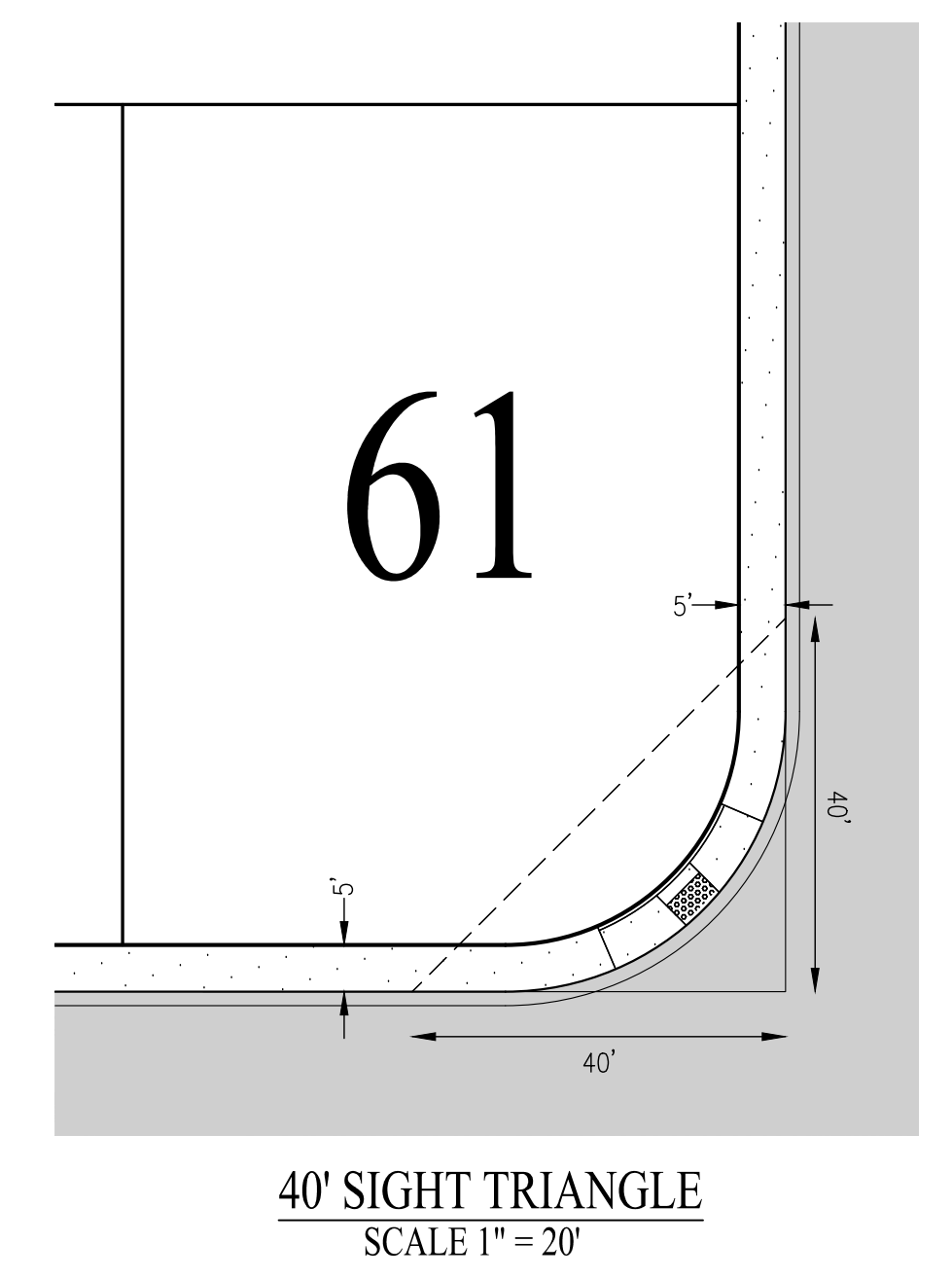
SHEET NO. **4** OF 6 SHEETS



LEGEND

FUTURE	EXISTING	PROPOSED	
---	---	---	SUBDIVISION BOUNDARY
---	---	---	LOT LINE
---	---	---	RIGHT OF WAY
---	---	---	EASEMENT
---	---	---	CENTERLINE
---	---	---	CLB#
---	---	---	MEAN
---	---	---	FRE HYDRANT
---	---	---	40' SIGHT VISIBILITY TRIANGLE

NOTE:
 SIGHT VISIBILITY TRIANGLE DOES NOT APPLY AT ELBOWS AND KNUCKLES



PARKING TYPE	PARKING REQUIRED		PARKING PROVIDED	
	RATIO	NUMBER OF SPACES	RATIO	NUMBER OF SPACES
GARAGE (COVERED)	2 SPACES/DU	440 SPACES	2 SPACES/DU	440 SPACES
GUEST PARKING (ON-STREET)	1 SPACE/DU	220 SPACES	-	220 SPACES
ADDITIONAL ON-STREET PARKING	-	-	-	84 SPACES
TOTAL	-	660 SPACES	-	744 SPACES

GUEST PARKING (PARALLEL SPACES) DIMENSIONS

INTERIOR: 8' x 23'
 END OF ROW: 8' x 20'

**VESTING TENTATIVE MAP
 AND PARKING PLAN
 CREEKSIDE
 VINEYARDS AT SAND CREEK
 SUBDIVISION 9501**

CITY OF ANTIOCH CONTRA COSTA COUNTY CALIFORNIA

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