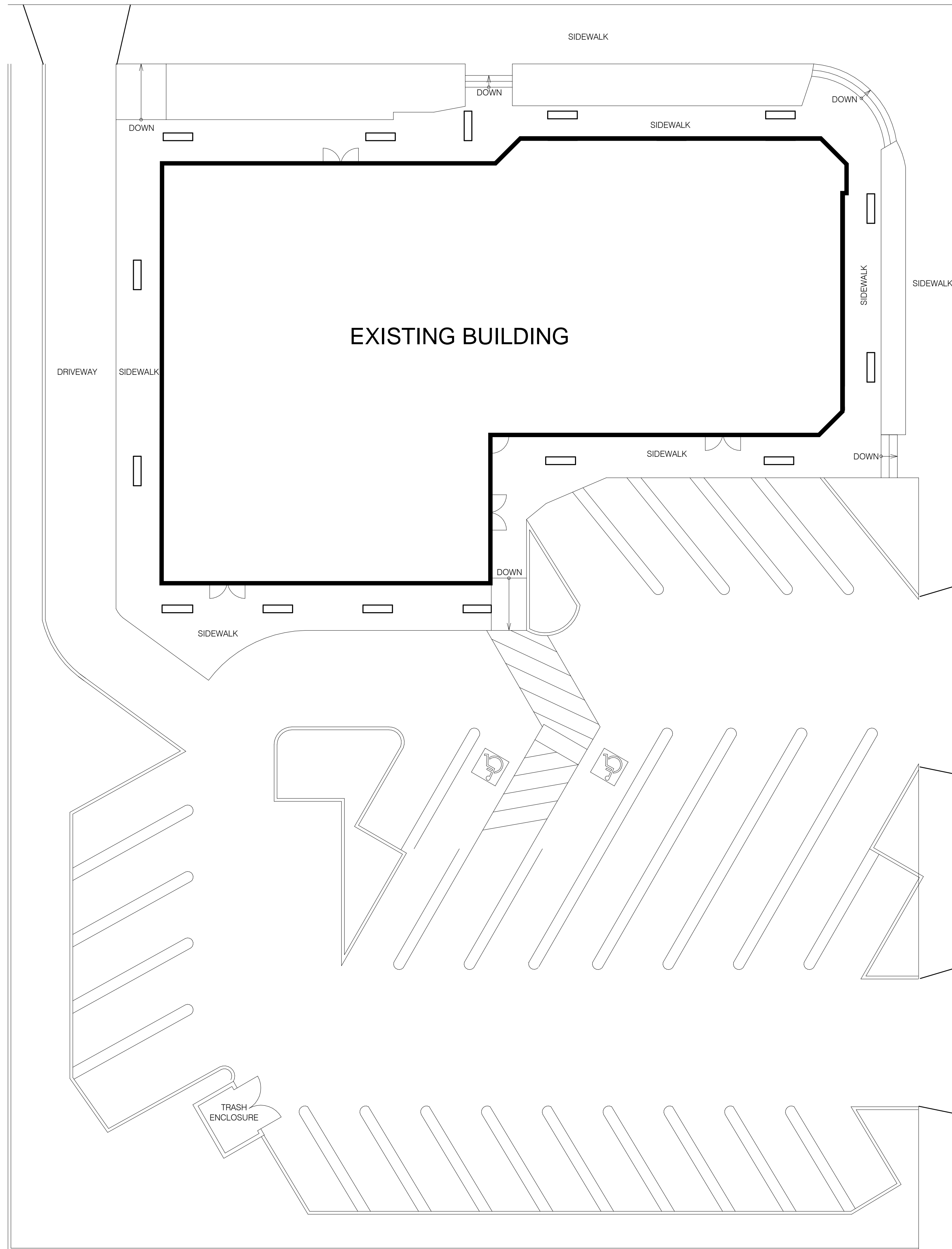


SOMERSVILLE RD



EXISTING SITE PLAN
3/32"=1'-0"



2401 C Street
Sacramento, CA 95816
(916)442-4032
amoniz@monizarchitecture.com

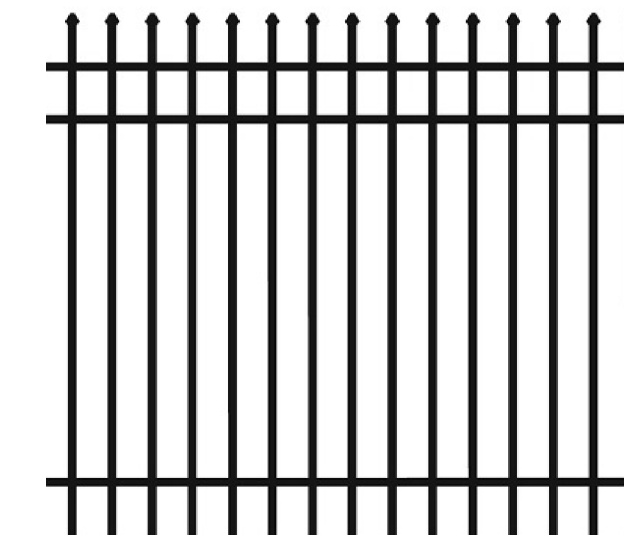
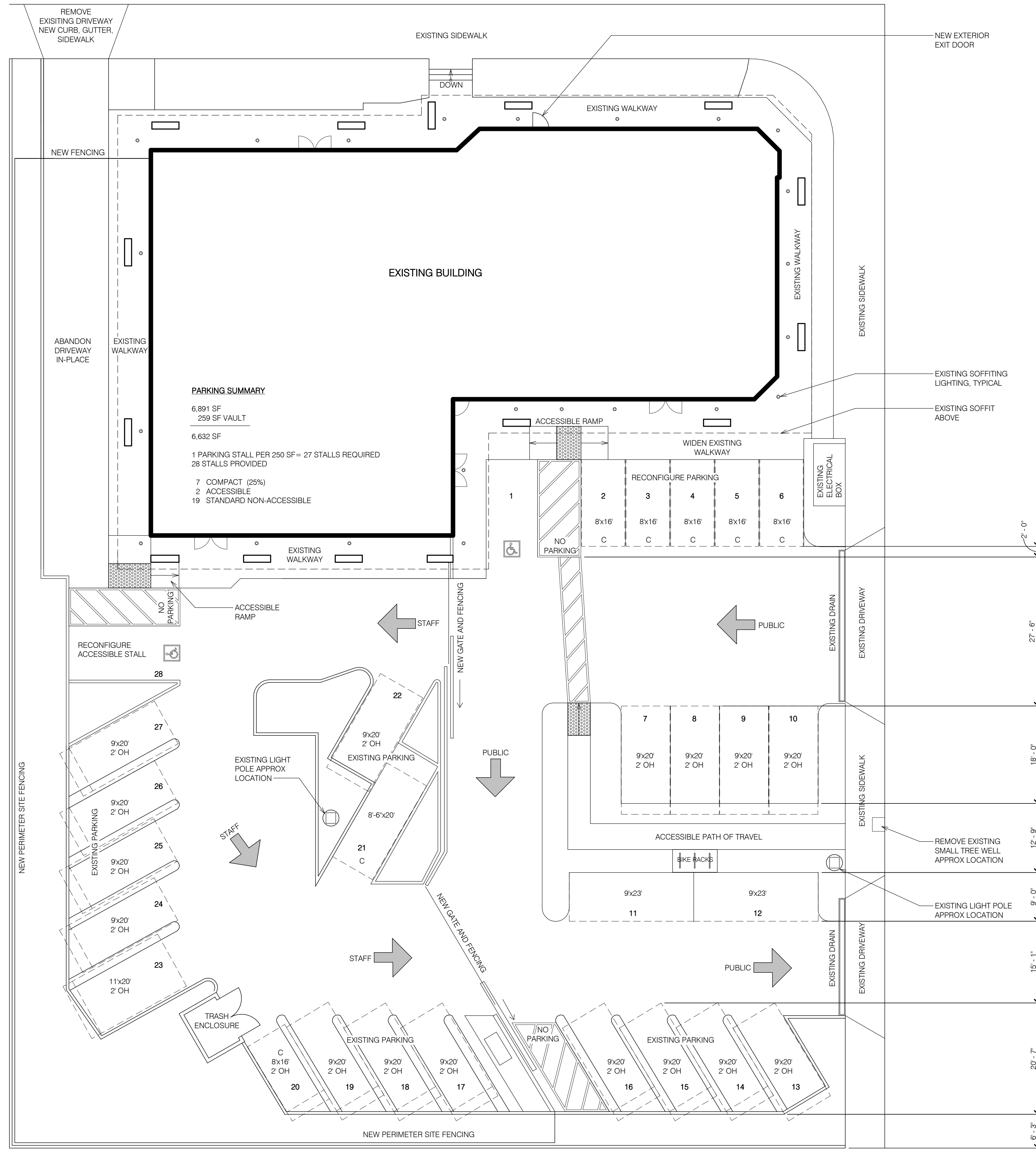
Housing Authority of
the County of Contra Costa
3133 Estudillo Street
Martinez, CA 94553
(925)957-8001

PRELIMINARY CONCEPTS
Proposed Remodel of
Building and Site at:

2601 Somersville Rd
Antioch, CA

Sept. 18, 2024

SOMERSVILLE ROAD



7'-0" HIGH METAL FENCING, BLACK



1-LOOP WAVE STYLE BIKE RACK, 3 BIKE CAPACITY, BLACK



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PRELIMINARY CONCEPTS

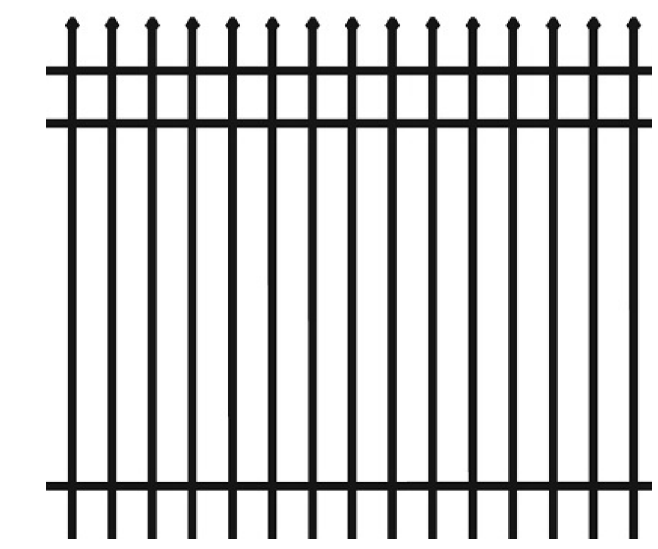
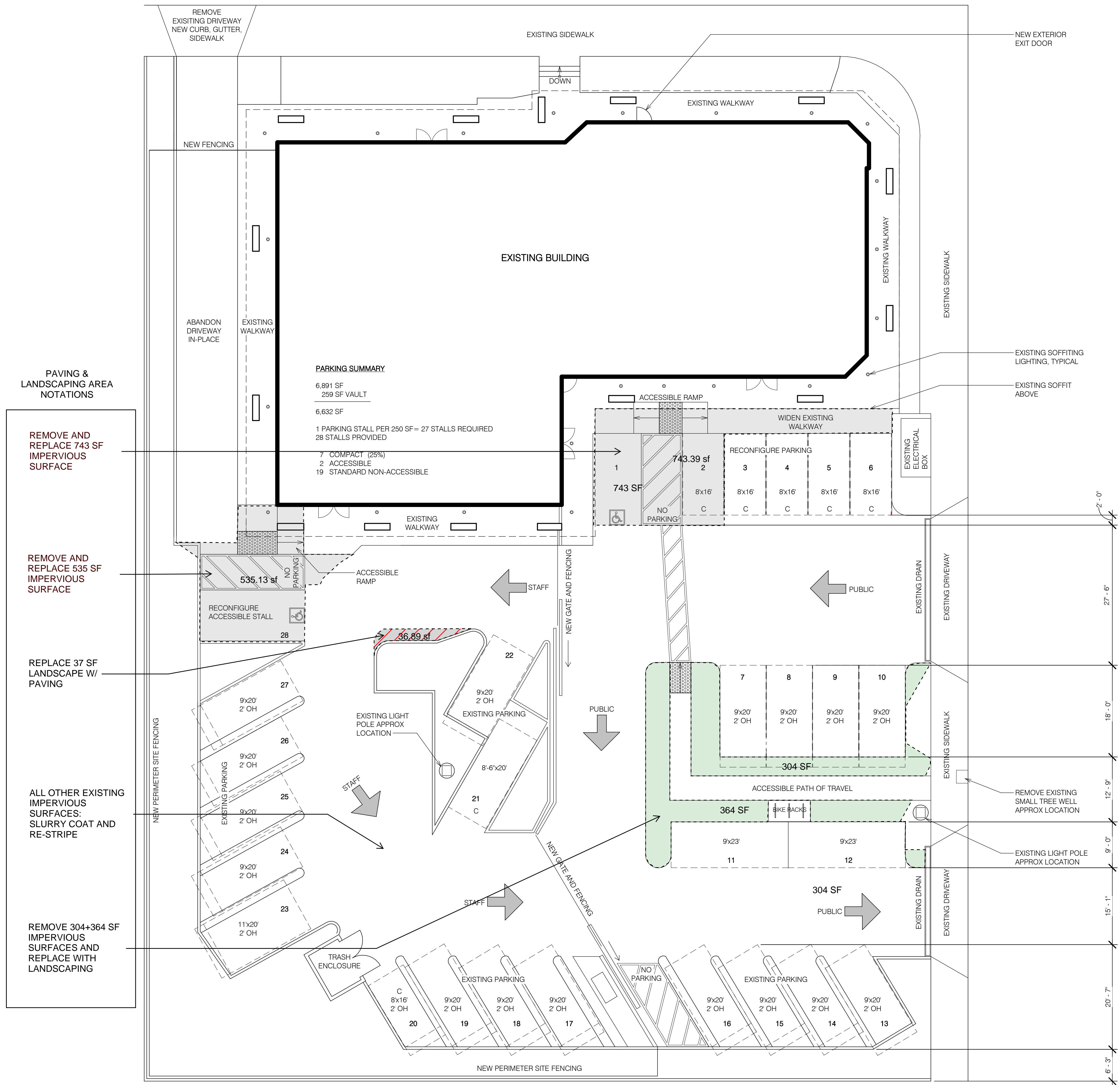
Proposed Remodel of
Building and Site at:

2601 Somersville Rd
Antioch, CA

Sep. 18, 2024

PROPOSED SITE PLAN
3/32"=1'-0"

SOMERSVILLE ROAD



7'-0" HIGH METAL FENCING, BLACK



1-LOOP WAVE STYLE BIKE RACK, 3 BIKE CAPACITY, BLACK

PAVING REPLACEMENT AND REMOVAL SUMMARY	
Impervious paving area removed and replaced with landscaping	304 364 668
Impervious area added	37
Net Impervious removed and converted to landscaping	631
Impervious area replaced	1,278

SEE PAVING AND LANDSCAPING AREA NOTATIONS ON THE LEFT SIDE OF THE PLAN

PROPOSED SITE PLAN
3/32"=1'-0"



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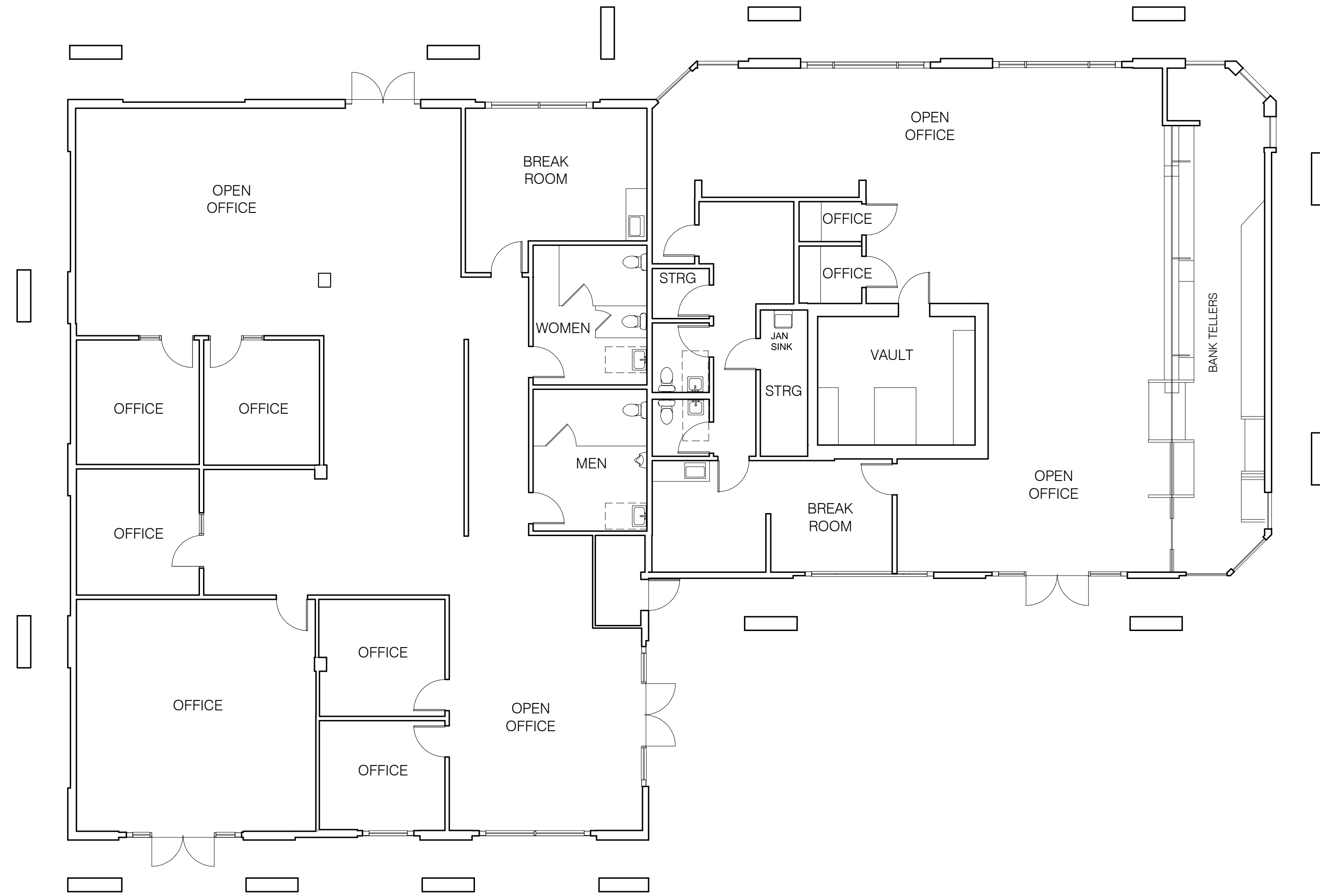
Sep. 18, 2024

PRELIMINARY CONCEPTS

Proposed Remodel of
Building and Site at:

2601 Somersville Rd
Antioch, CA

Sept. 18, 2024



EXISTING FLOOR PLAN
1/8"=1'-0"



Housing Authority of
the County of Contra Costa

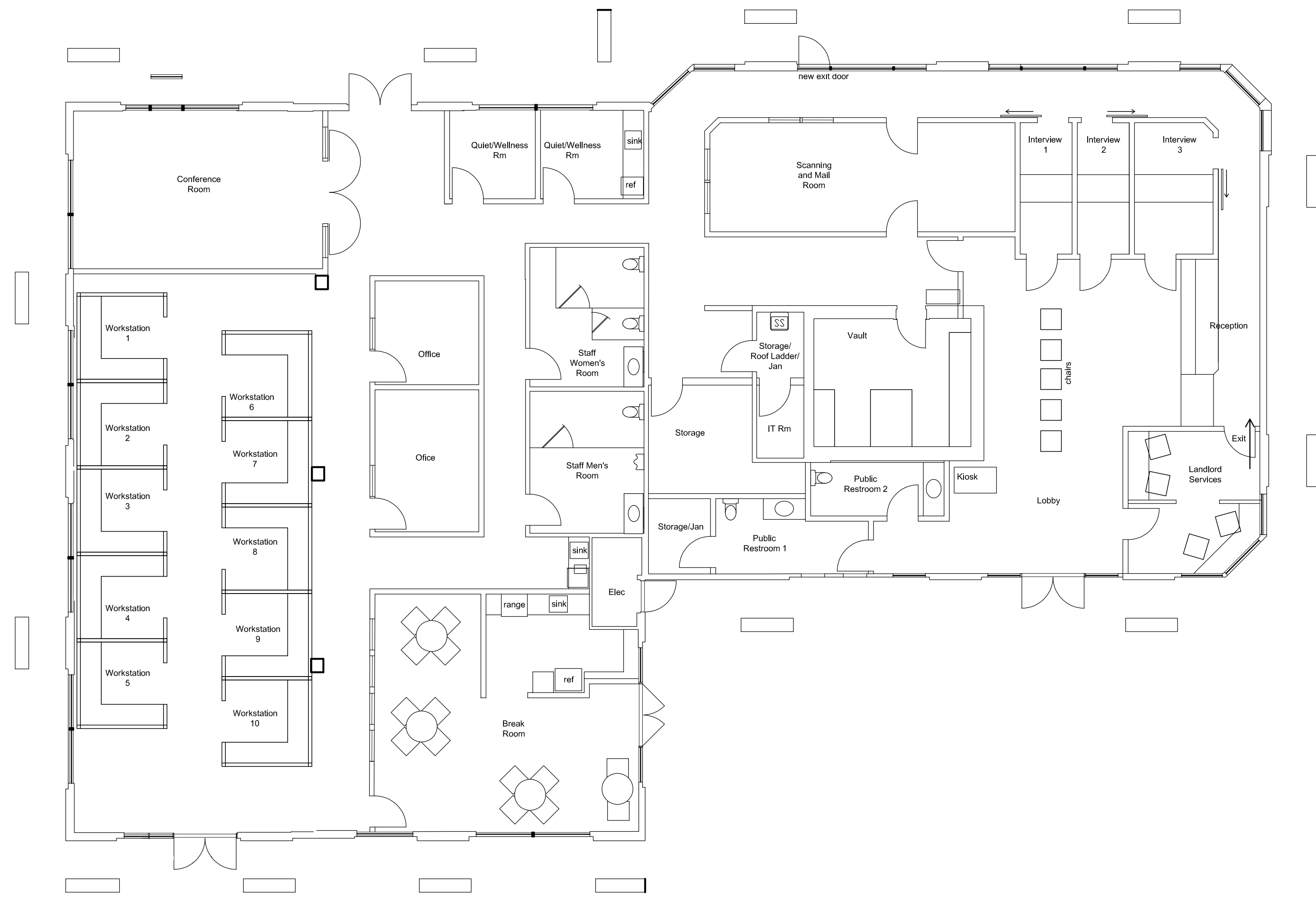
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PRELIMINARY CONCEPTS

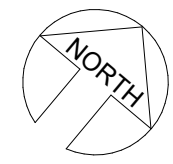
Proposed Remodel of
Building and Site at:

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PROPOSED FLOOR PLAN
1/8"=1'-0"





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PRELIMINARY CONCEPTS

Proposed Remodel of
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2601 Somersville Rd
Antioch, CA

Sept. 18, 2024



Somersville Rd Frontage

- PAINT BUILDING SIMILAR TO EXISTING COLOR
- NEW EXTERIOR STOREFRONT DOOR IN EXISTING WINDOW OPENING, FOR EXIT ONLY
- REMOVE ALL EXISTING WELLS FARGO SIGNAGE
- REMOVE EXISTING STEPS, REPLACE WITH LANDSCAPING
- REMOVE WELLS FARGO SIGN AND INSTALL NEW SIGN AT CORNER



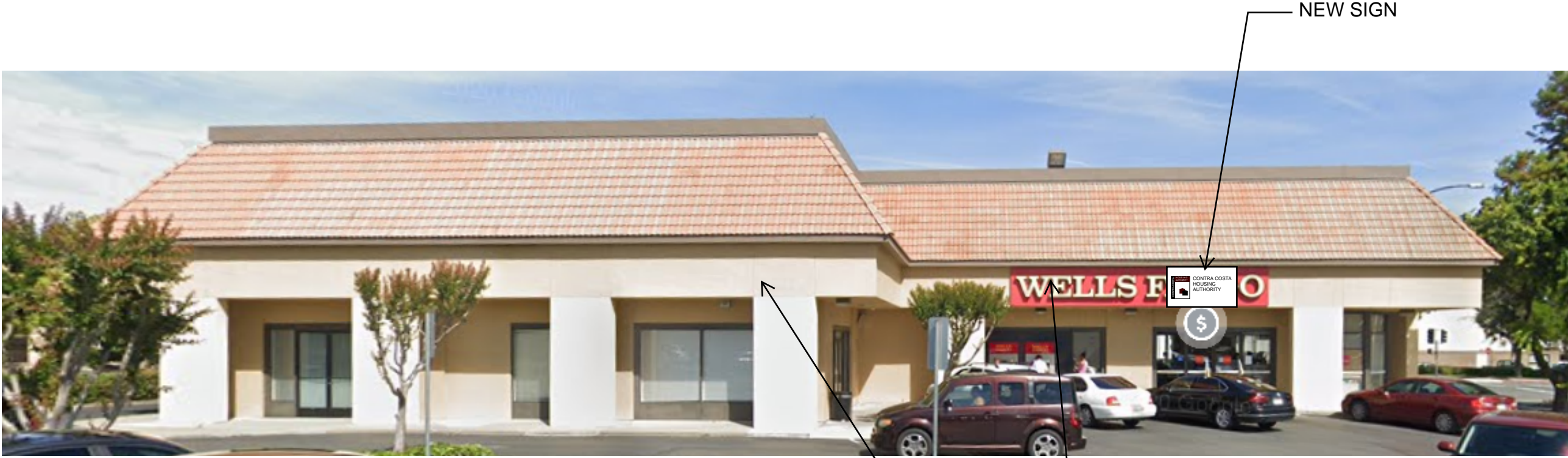
Somersville Rd Frontage

- REMOVE EXISTING DRIVEWAY CURB CUT AND REPLACE WITH NEW SIDEWALK, CURB, AND GUTTER
- NEW FENCING



Somersville Towne Center Frontage

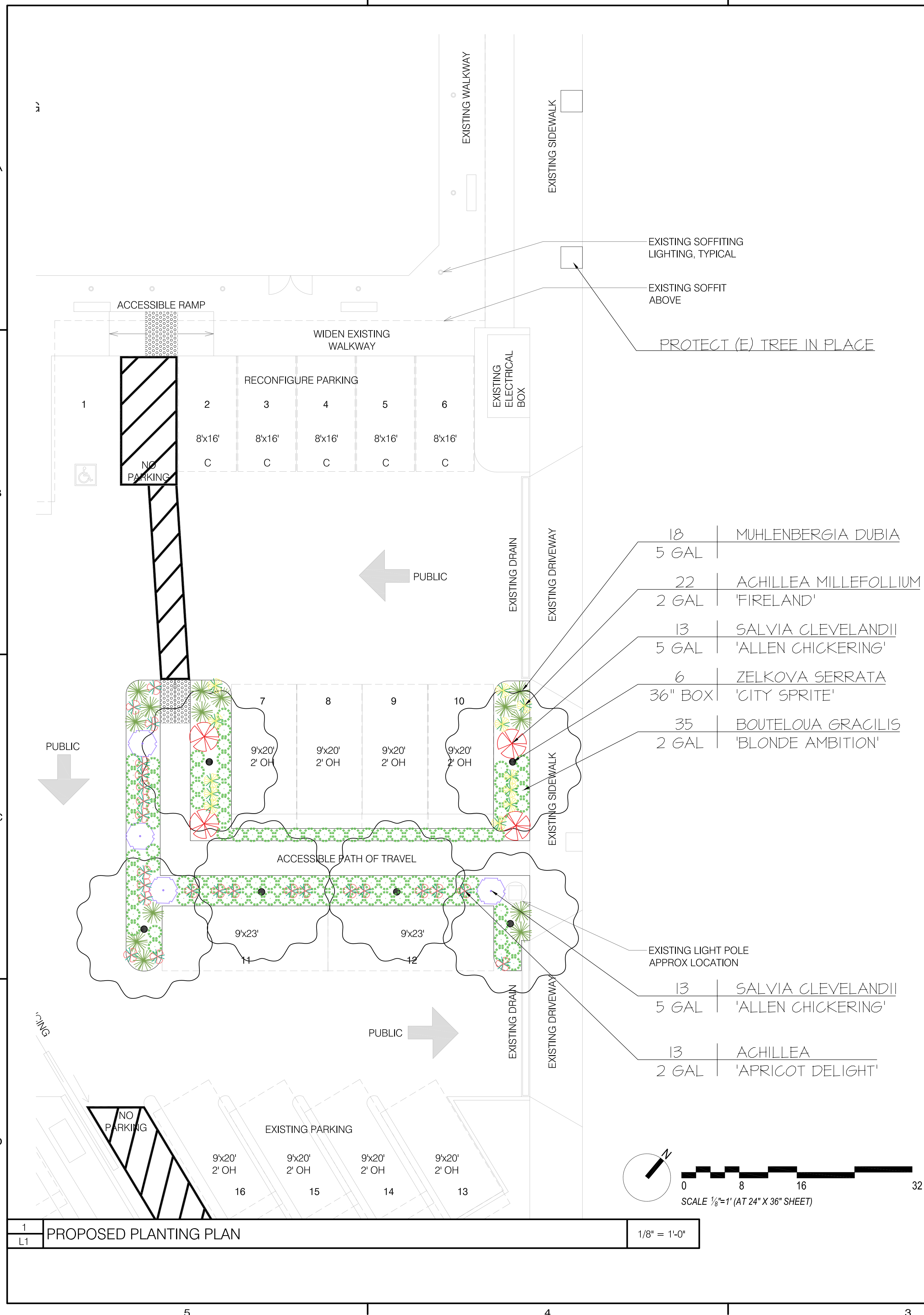
- REMOVE EXISTING STEPS, REPLACE WITH LANDSCAPING
- REMOVE WELLS FARGO SIGN AND INSTALL NEW SIGN AT CORNER
- PAINT BUILDING SIMILAR TO EXISTING COLOR
- REMOVE ALL EXISTING WELLS FARGO SIGNAGE



Parking Lot Side of Building

- NEW SIGN
- REMOVE ALL EXISTING WELLS FARGO SIGNAGE
- PAINT BUILDING SIMILAR TO EXISTING COLOR

BUILDING PHOTOS

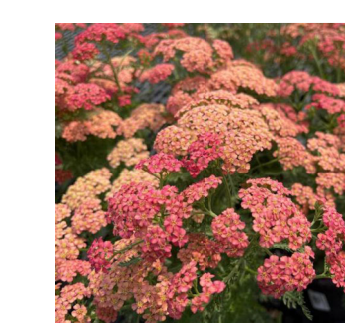


TREES



ZELKOVA SERRATA 'CITY SPRITE'
CITY SPRITE ZELKOVA

SHRUBS, GRASSES & GROUNDCOVERS



ACHILLEA 'APRICOT DELIGHT'
APRICOT DELIGHT YARROW



ACHILLEA MILLEFOLIUM 'FIRELAND'
FIRELAND COMMON YARROW



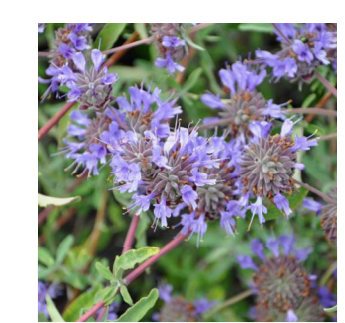
BOUTELOUA GRACILIS 'BLONDE AMBITION'
BLONDE AMBITION BLUE GRAMA



EPILOBIUM CANUM
CALIFORNIA FUCHSIA



MUHLENBERGIA DUBIA
FINE MUHLY



SALVIA CLEVELANDII 'ALLEN CHICKERING'
BLUE BUSH SAGE

BOTANICAL	COMMON	HEIGHT	WIDTH	GROW RATE	WATER	PLANT FACTOR	LIGHT	SEASON	QTY	SPACING	CA NATIVE
-----------	--------	--------	-------	-----------	-------	--------------	-------	--------	-----	---------	-----------

Street Trees											
<i>Ulmus parvifolia</i>	Chinese Elm	40-55 ft	40-55 ft	Fast	Low	0.10-0.30	Full	Semi-Deciduous		See plan	

Shade Trees											
<i>Zelkova serrata</i> 'City Sprite'	City Sprite Zelkova	25 ft	20 ft	Fast	Moderate	0.40-0.60	Full	Deciduous		See plan	
ALT <i>Acer buergerianum</i>	Trident Maple	20-30 ft	20-30 ft	Fast	Moderate	0.40-0.60	Full	Deciduous		See plan	
ALT <i>Pistacia chinensis</i> 'Keith Davey'	Chinese Pistache	20-25 ft	25-35 ft	Fast	Low	0.10-0.30	Full	Deciduous		See plan	

Grasses, Shrubs & Groundcovers											
<i>Achillea</i> 'Apricot Delight'	Apricot Delight Yarrow	1-2 ft.	1-2 ft.	Fast	Low	0.10-0.30	Full, Half			@ 2-ft O-C	Yes
<i>Achillea millefolium</i> 'Fireland'	Fireland Common Yarrow	1-2 ft.	1-2 ft.	Fast	Low	0.10-0.30	Full, Half			@ 2-ft O-C	Yes
<i>Bouteloua gracilis</i> 'Blonde Ambition'	Blue Grama Grass	2 ft	2 ft	Fast	Low	0.10-0.30	Full/Part			@ 2-FT O.C	Yes
ALT <i>Carex divulsa</i>	Berkeley Sedge	1-1.5 ft.	2 ft.	Fast	Low	0.10-0.30	Full, Half			@ 2-ft O-C	Yes
<i>Epilobium canum</i>	California Fuchsia	2 ft	4 ft	Fast	Very Low	< 0.10	Full			@ 4-FT O.C	Yes
<i>Muhlenbergia dubia</i>	Fine Muhly	3 ft	3 ft	Fast	Low	0.10-0.30	Full/Part			@ 2-FT O.C	
ALT <i>Muhlenbergia rigens</i>	Deer Grass	2-3 ft	2-3 ft	Fast	Low	0.10-0.30	Full/Part			@ 2-FT O.C	Yes

LANDSCAPE WATER USE STATEMENT: A FULLY AUTOMATIC IRRIGATION SYSTEM WILL BE INSTALLED. I HAVE COMPLIED WITH THE CRITERIA OF THE WATER EFFICIENT LANDSCAPE ORDINANCE, AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE PLANTING PLAN.

NOTES

- ALL LANDSCAPE AND MAINTENANCE OF SAME SHALL CONFORM TO CITY OF VALLEJO LANDSCAPE AND IRRIGATION GUIDELINES, AND ANY OTHER APPLICABLE CODES, ORDINANCES AND LAWS.
- LANDSCAPE CONTRACTOR SHALL COORDINATE ALL WORK WITH RELATED CONTRACTORS AND WITH THE GENERAL CONSTRUCTION OF THE PROJECT.
- VERIFY ALL SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO COMMENCING WORK.
- LAYOUT OF PLANT MATERIALS SHOWN ON DRAWINGS ARE APPROXIMATE. LAYOUT OF PLANT MATERIALS SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF PLANT MATERIALS IN CONFORMANCE WITH DRAWINGS AND SPECIFICATIONS. IF, HOWEVER, IN-THE-FIELD CONFLICTS ARISE BETWEEN PLANT AND UTILITY LOCATIONS, CONTRACTOR SHALL, WITH THE APPROVAL OF LANDSCAPE ARCHITECT AND RESIDENT ENGINEER, MAKE THE NECESSARY ADJUSTMENTS TO PLANT PLACEMENT IN ORDER TO ACHIEVE OPTIMUM DESIGN.
- DIMENSIONS ARE TAKEN FROM FACE OF BUILDING, BACK FACE OF CURB OR WALL, OR PROPERTY LINE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL ORDER PLANT MATERIAL TO ENSURE ADEQUATE QUANTITIES AND SIZES OF PLANT MATERIAL WILL BE AVAILABLE, IN CONFORMANCE WITH DRAWINGS AND SPECIFICATIONS. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IN SUFFICIENT PLANT QUANTITIES DUE TO DIFFERENCES IN PLAN AND ACTUAL FIELD CONDITIONS.
- CONTRACTOR SHALL CONFIRM SOURCE OF ALL PLANT MATERIAL. ALL PLANT MATERIAL OF SAME SPECIES SHALL BE FROM A SINGLE SOURCE.
- ALL PLANTS TO BE OF THE FINEST QUALITY AND FREE OF DISEASE OR DAMAGE. PLANT MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. IF NOT REVIEWED, LANDSCAPE ARCHITECT MAY MAKE CHANGES OR REJECT MATERIALS AT NO ADDITIONAL COSTS TO OWNER.
- ALL TREES SHALL BE STAKED/GUYED AS SHOWN ON DETAILS OR AS MAY BE REQUIRED TO MAINTAIN TREE SECURELY.
- AVOID UNNECESSARY ROOT DISTURBANCE, COMPACTION OF SOIL WITHIN DRIP LINE, OR LIMB BREAKAGE. DO NOT STORE MATERIAL OR EQUIPMENT OR DISPOSE OF ANY MATERIAL OTHER THAN CLEAN WATER WITHIN DRIP LINE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLANT ESTABLISHMENT OF THE ENTIRE SITE FOR THE DURATION OF THE CONTRACT AND PLANT ESTABLISHMENT PERIOD, AS INDICATED IN SPECIFICATIONS, INCLUDING, BUT NOT LIMITED TO, ALL WATERING, MOWING, EDGING, TRIMMING, PRUNING, WEEDING, FERTILIZING, AND KEEPING ALL PLANT MATERIAL (BOTH EXISTING AND NEW) IN HEALTHY GROWING CONDITIONS AND NEAT AND ATTRACTIVE IN APPEARANCE, REPLACE ALL DEAD AND/OR DAMAGED PLANT MATERIAL ON A MONTHLY BASIS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL FROM THE CITY'S PROPERTY OF ALL WASTE MATERIAL GENERATED FROM THE PLANTING OPERATIONS.
- IN ALL AREAS WHERE ANY SURFACING OR PAVING IS TO BE REMOVED AND REPLACED WITH NEW PLANTING, REMOVE ALL EXISTING AGGREGATE BASE, GRAVEL, ETC. LEAVE ONLY NATIVE SOIL AND BACK FILL WITH SPECIFIED SOIL TO MEET DESIGN GRADE.
- SEE SPECIFICATIONS AND DETAILS FOR SOIL AMENDMENTS, EROSION CONTROL SEEDING, PLANTING AND MAINTENANCE INSTRUCTIONS.
- PERFORM FINE GRADING IN ALL PLANTING AREAS. COORDINATE FINISH GRADE TO ALLOW MULCH AS SPECIFIED. PROVIDE POSITIVE DRAINAGE. DO NOT LET WATER POND AT PLANTS, EXCEPT AS SHOWN ON PLANS.
- FINISH GRADE OF SOIL, AFTER SETTLEMENT, ADJACENT TO PAVEMENT SHALL BE 1" BELOW FINISH GRADE OF PAVEMENT.
- AFTER PLANTING, DRESS OFF ALL PLANTING BEDS WITH THREE 3-INCHES DEPTH OF MULCH UNLESS OTHERWISE NOTED, SEE SPECS.
- PLANT AREA AND OVERALL QUANTITY FOR EACH PLANT TYPE ARE SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR TO CONFIRM QUANTITIES. ALL AREAS ARE TO BE PLANTED PER SPACING IN PLANTING SCHEDULE.
- DURING PLANT ESTABLISHMENT PERIOD, CONTRACTOR SHALL INSTALL TEMPORARY PROTECTIVE FENCING AROUND PLANT AREAS AS DIRECTED BY OWNERS REPRESENTATIVE ON SITE. FENCING SHALL BE OF SUFFICIENT HEIGHT AND LIMITED OPENINGS THAT HUMANS AND DOGS CANNOT ENTER THE PLANT AREAS. CONTRACTOR SHALL MAINTAIN PROTECTIVE FENCING TO PREVENT ENTRY. WHEN DIRECTED BY THE OWNERS REPRESENTATIVE, CONTRACTOR SHALL REMOVE PROTECTIVE FENCING AND DISPOSE OFF-SITE.
- THE TREES, SHRUBS, GROUND COVERS AND LAWN SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR, BEGINNING AFTER THE FINAL ACCEPTANCE.
- FOR SOIL PREPARATION REQUIREMENTS IN ALL CURRENTLY COMPACTED PAVED AREAS, SEE SPECS.
- SOIL LAB ANALYSIS AND SOIL AMENDMENT. CONTRACTOR SHALL PROVIDE LAB ANALYSIS AND TEST RESULTS OF 0.5 CUBIC FOOT SAMPLE OF SITE SOIL. SOIL AMENDMENT, UPON APPROVAL OF LANDSCAPE ARCHITECT, SHALL FOLLOW THE RECOMMENDATIONS OF THE SOIL LAB TEST RESULTS DESCRIBED IN SPEC SECTION 02900



2401 C STREET
SACRAMENTO CA 95816
PHONE 916.442.4032 FAX 916.442.4004

ARCHITECT'S STAMP

PRELIMINARY DRAWINGS- NOT FOR CONSTRUCTION

CONSULTANT

Dillingham Associates
Landscape Architects

2927 Newbury Street Berkeley CA 94703
510.548.4700 dillinghamlandarch.com

The undersigned architect does not represent that these plans or the specification in connection therewith are suitable, whether or not modified, for any other site than the one for which they were specifically prepared. The architect disclaims responsibility for these plans and specifications if they are used in whole or in part at any other site. All drawings and written material appearing herein constitute the original and unpublished work of the architect and the same may not be duplicated, used or disclosed without the written consent of the architect. This drawing is not final or to be used for construction until signed by the architect and owner.

Architect
Owner
Tenant

PROJECT TITLE
CONTRA COSTA HOUSING AUTHORITY TI

2601 SOMERSVILLE RD
ANTIOCH, CA 94509

SHEET TITLE
PROPOSED PLANTING PLAN

ISSUES/REVISIONS
□ ISSUES ▲ REVISIONS

NO.	DATE	DESCRIPTION

DATE: 10/21/2024

JOB NO.: 872

DRAWN BY: DS

CHECKED BY: PD

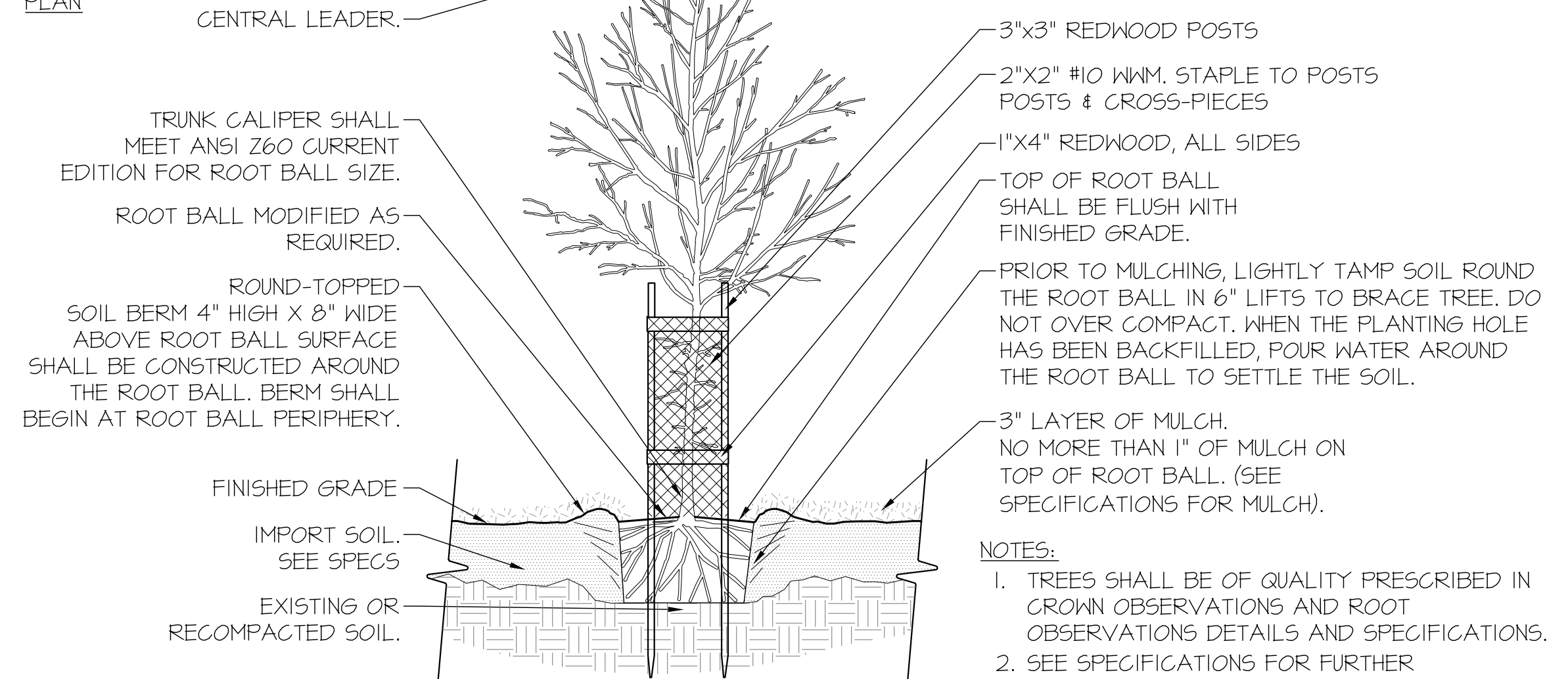
DRAWING NO.:

L1
OF SHEET



4 HARD RUBBER TIES IN
FIGURE 'B'. NAIL TO
POSTS

PLAN

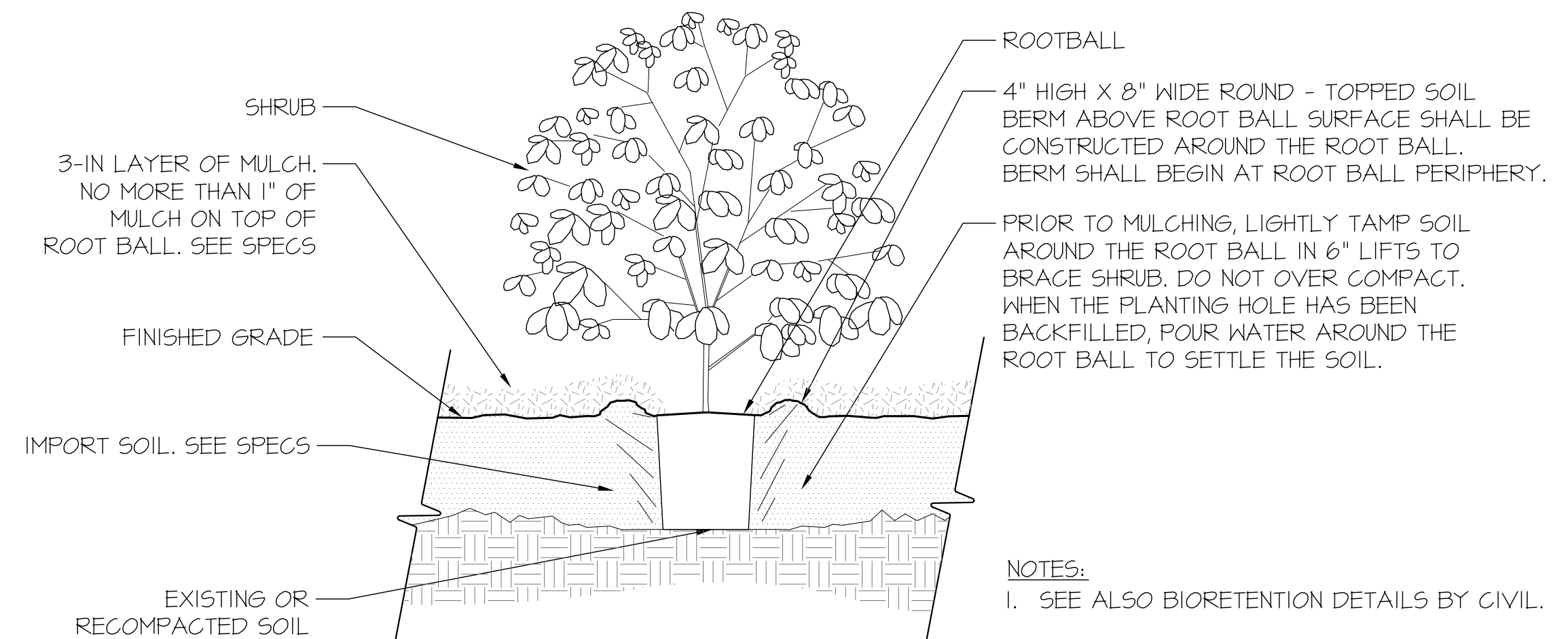


NOTES:

1. TREES SHALL BE OF QUALITY PRESCRIBED IN CROWN OBSERVATIONS AND ROOT OBSERVATIONS DETAILS AND SPECIFICATIONS.
2. SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.

3 TREE W/ 4 POST-GUARD

SCALE: 1/2" = 1'-0"



NOTES:

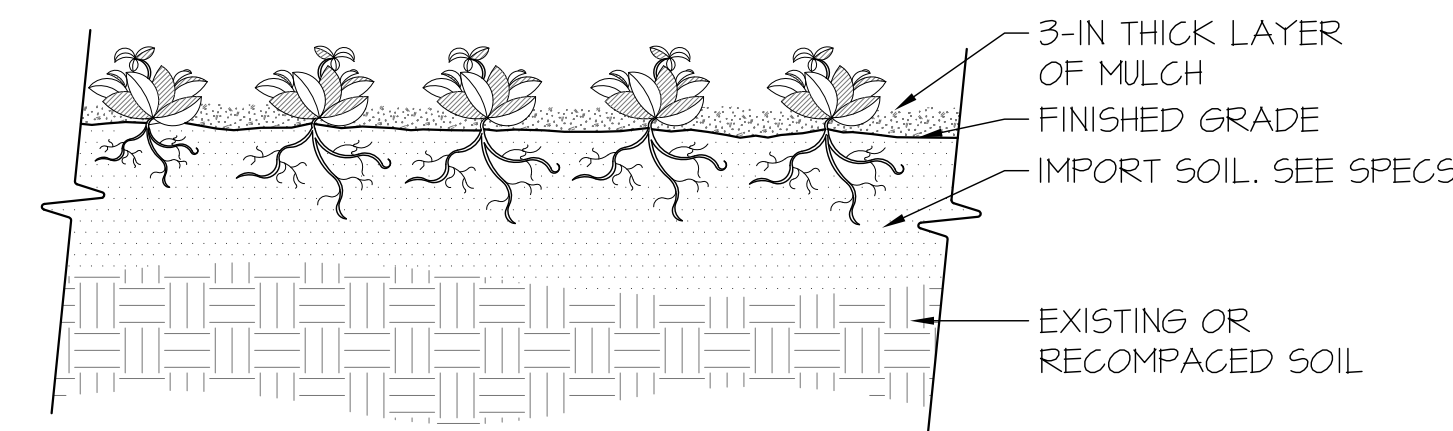
1. SEE ALSO BIORETENTION DETAILS BY CIVIL.

2 TYPICAL SHRUB PLANTING

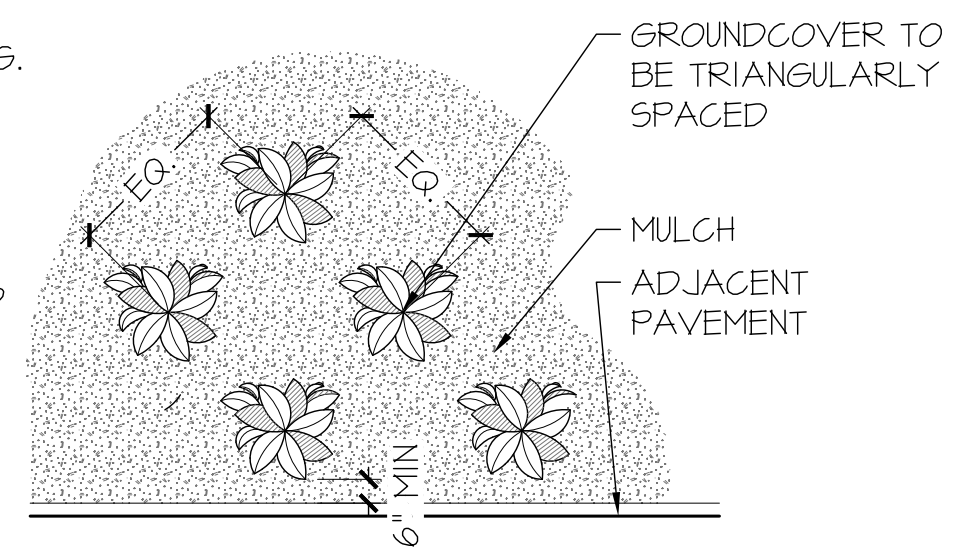
SCALE: 3/4" = 1'-0"

NOTES:

1. SEE PLANTING LEGEND FOR GROUNDCOVER SPECIES, SIZE, AND SPACING DIMENSION.
2. SETTLE SOIL AROUND ROOT BALL OF EACH GROUNDCOVER PRIOR TO MULCHING.
3. SEE ALSO BIORETENTION DETAILS BY CIVIL.



SECTION



PLAN

1 TYPICAL GROUNDCOVER PLANTING

SCALE: 1" = 1'-0"